

# AMERICANA CENTER

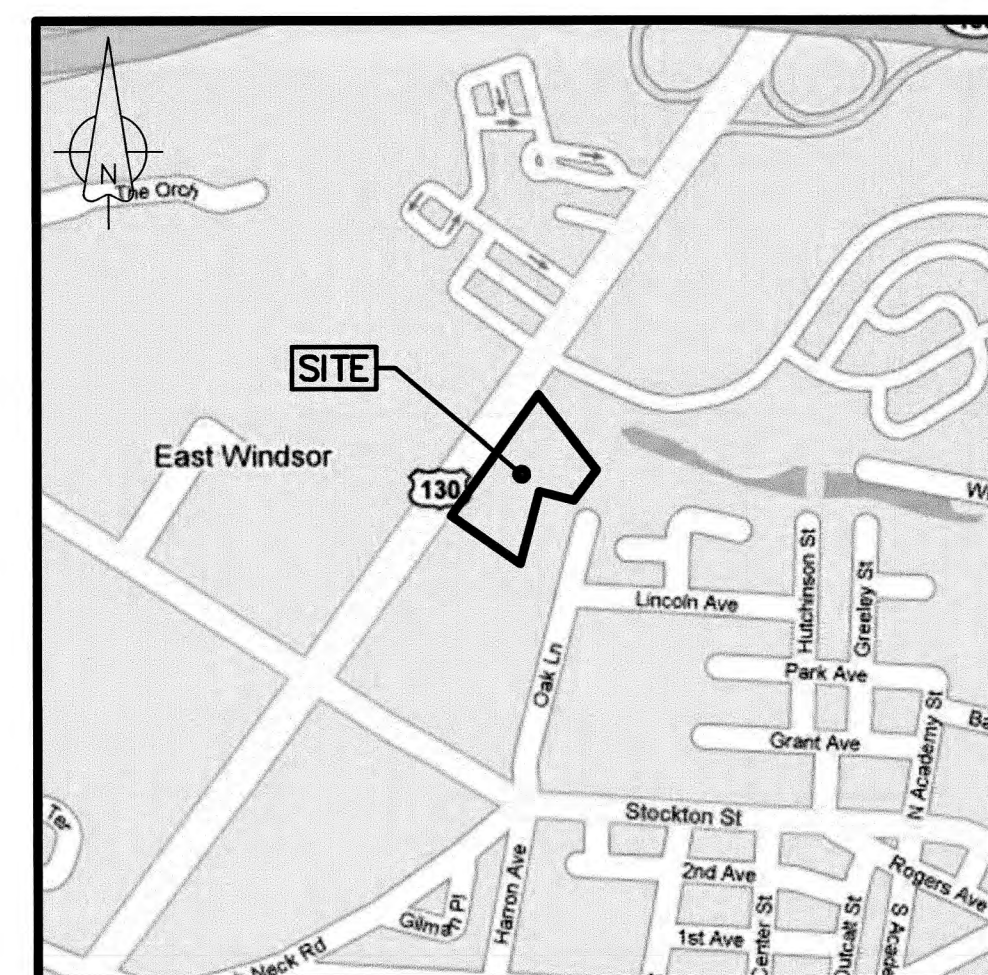
## AMERICANA DINER PARKING LOT IMPROVEMENTS

359, 369 & 375 US ROUTE 130, EAST WINDSOR, NEW JERSEY  
 BLOCK 57, LOTS 9, 10, & 11 - TOWNSHIP OF EAST WINDSOR  
 BLOCK 7, LOTS 40.02 & 41 - BOROUGH OF HIGHTSTOWN  
 TOWNSHIP OF EAST WINDSOR & BOROUGH OF HIGHTSTOWN, MERCER COUNTY, NEW JERSEY

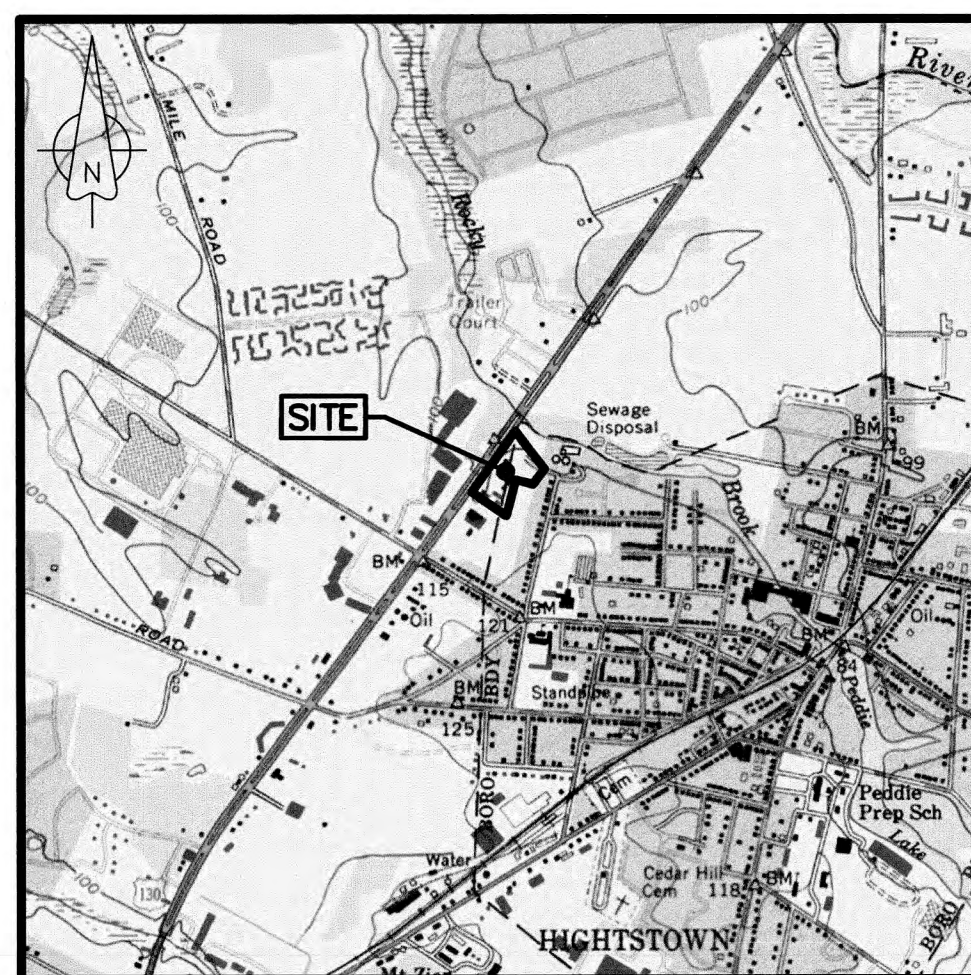
AMERICANA CENTER JOB No. 2005.109.02

### 200' OWNERS LIST

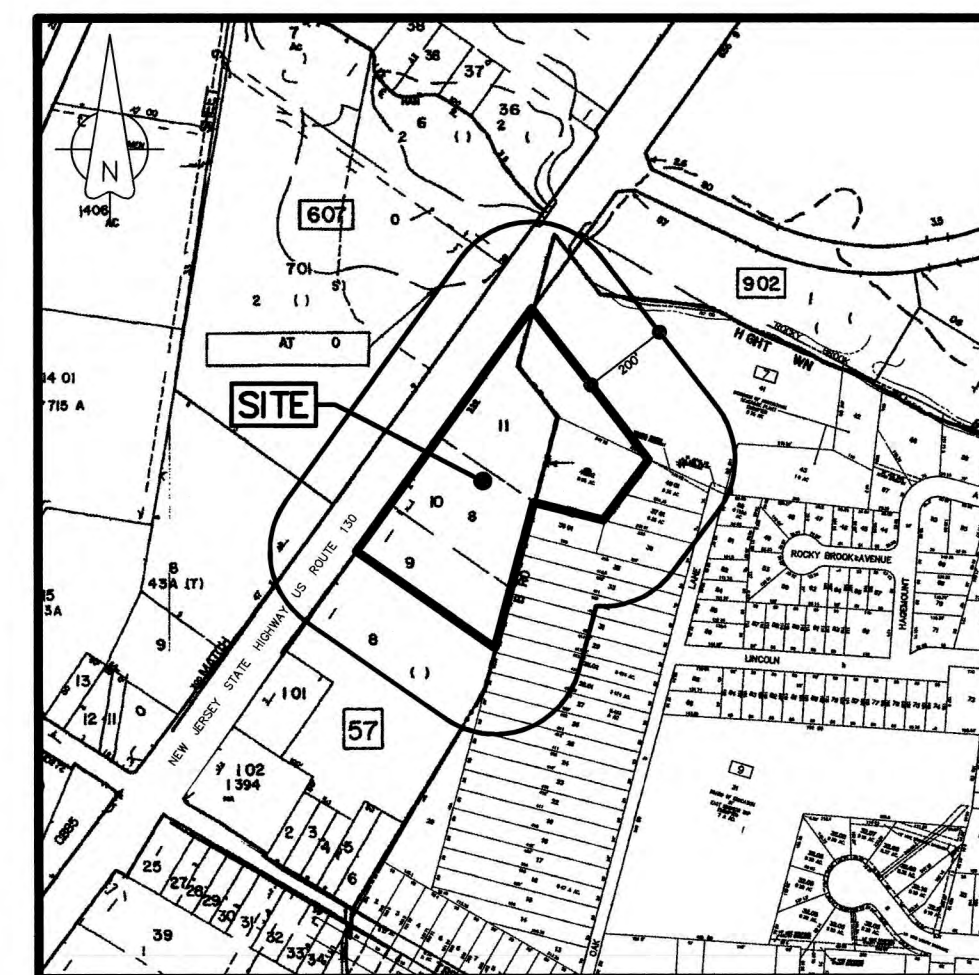
EAST WINDSOR	
BLOCK LOT	NAME & ADDRESS
6.07 6, 7, 02	East Windsor Township 163 Lansing Boulevard East Windsor, NJ 08520
6.07 7.01	East Windsor Interest c/o LYUDMYLA 210 Route 4 East Paramus, NJ 07652
6.07 8	D & E Realty c/o Mandelbaum & Mandelb 80 Main St, Suite 510 West Orange, NJ 07052
9.02 1	Leveon EW Assoc c/o Fidelity MNGM 641 Shumplin Rd. Chatham, NJ 07928
57 8	385 East Windsor, LLC 345 West Mount Pleasant A Livingston, NJ 07039
	AT & T R A Wagner 175 West Main St. Prochard, NJ 07728
	Comcast Cablevision General Manager P.O. Box 790, 90 Lake Dr. East Windsor, NJ 08520
	Department of Transportation State of New Jersey 1035 Parkway Ave. Trenton, NJ 08650
	East Windsor Utilities Authority Mr. Ted Fryer, General Manager 7 Whitehall Dr. East Windsor, NJ 08520
	JCP&L GIIP Energy Corporate Secretary 300 Madison Ave. Morristown, NJ 07962
	Mercer County Planning Board Administration Bldg. P.O. Box 800 Trenton, NJ 08650-8068
	PSE&G Corporate Secretary P.O. Box 800 Newark, NJ 07101
	Transcontinental Gas Pipe Line Corp. District Manager 3200 South Wood Ave. Linden, NJ 07036-0005
	Verrion Corporate Secretary 540 Broad Street Newark, NJ 07101
HIGHTSTOWN	
BLOCK LOT	NAME & ADDRESS
7 47	Ely John Vinton 5 Rocky Brook Court Hightstown, NJ 08520
7 32	Franc Holonias 159 Oak Lane Hightstown, NJ 08520
7 33	Patricia Zefinski 161 Oak Lane Hightstown, NJ 08520
7 42, 43	Borough of Hightstown 148 No Main St. Hightstown, NJ 08520
7 28.01	Timothy Henley 151 Oak Lane Hightstown, NJ 08520
7 52	Patricia A. Milosz 164 Oak Ln Hightstown, NJ 08520
7 36, 36.01	Karl & Diana Bower 165 Oak Lane Hightstown, NJ 08520
7 24	Jonathan J. & Jennifer Schmidt 137 Oak Lane Hightstown, NJ 08520
7 40.01	Dennis Kravson 189 Oak Lane Hightstown, NJ 08520
7 35	David P. & Kathleen Cruser 163 Oak Lane Hightstown, NJ 08520
7 28.02	Edward & Kathryn Assay, Jr. 153 Oak Lane Hightstown, NJ 08520
7 53	Eric M. Post Living Trust 15 Rocky Brook Court Hightstown, NJ 08520
7 27	Diego Cubos 149 Oak Lane Hightstown, NJ 08520
7 87	Matthew S. Oorbeck & Ni Malkiewicz 16 Hagemont Avenue Hightstown, NJ 08520
7 51	Federal National Mortgage Assc 14221 Dallas Parkway #1000 Dallas, TX 75254
7 44	Fabian M. Avila & Adriana S. Toledo 8 Rocky Brook Court Hightstown, NJ 08520
7 25	Gregory & Karen Dismore 139 Oak Ln Hightstown, NJ 08520
7 50	John H. & Colleen I. Kramer 170 Oak Lane Hightstown, NJ 08520
7 49	Dennis Canales & Valeria Vasquez 14 Rocky Brook Road Hightstown, NJ 08520
7 46	G A Thornhill & P A Pogorzelski 6 Rocky Brook Court Hightstown, NJ 08520
7 48	Alex & Magaly Rupert 4 Rocky Brook Court Hightstown, NJ 08520
7 37.01	Constantine Katsifis 167 Oak Lane Hightstown, NJ 08520
7 29	Edin Zalic 155 Oak Lane Hightstown, NJ 08520
7 45	Joseph Sabo & Margaret A. Caruso 7 Rocky Brook Court Hightstown, NJ 08520
7 20	Orlando Louiza 442 Stockton Street Hightstown, NJ 08520
7 26	Jeffrey & Michelle Feigenwinter 143 Oak Lane Hightstown, NJ 08520
7 31	Christos Katsifis 214 Wincrest Drive East Windsor, NJ 08520



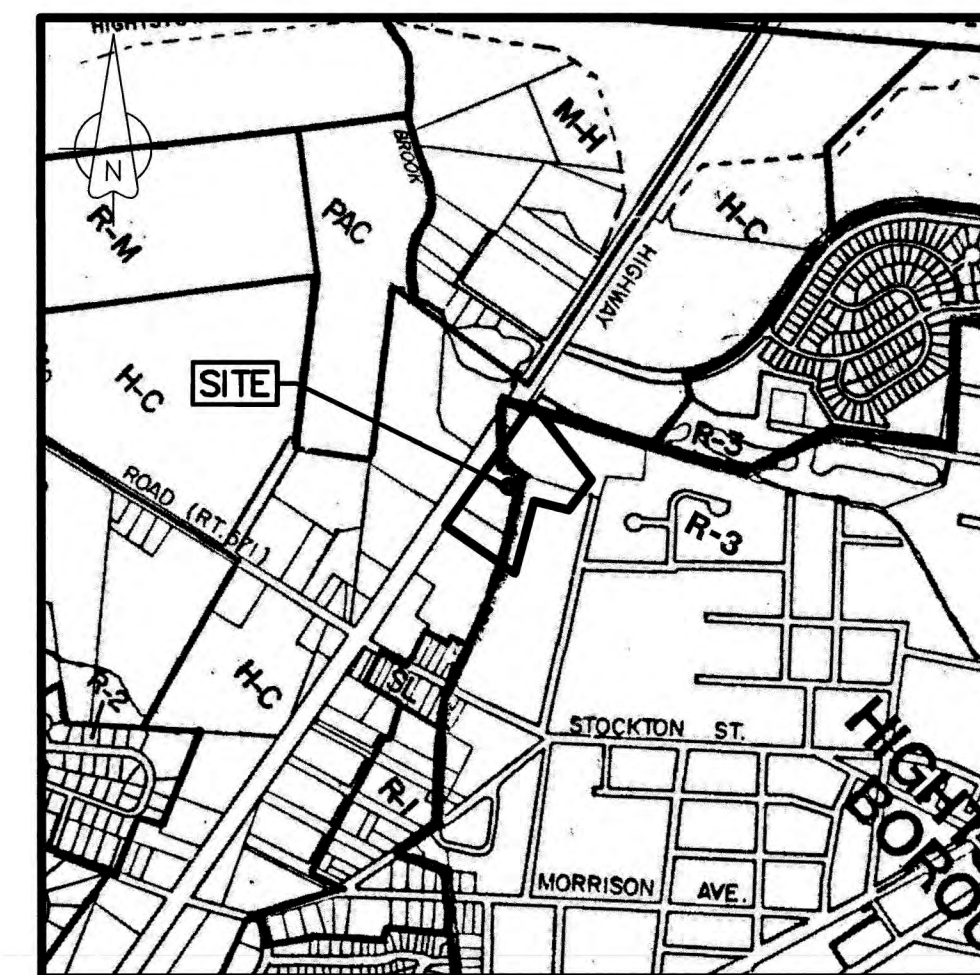
ROAD MAP  
1"=1,000'±



U.S.G.S. MAP  
1"=2,000'±



TAX MAP  
1"=500'±



ZONING MAP  
1"=1,000'±



AERIAL MAP  
1"=500'±

### DRAWING LIST

SHEET #	DWG. #	TITLE
SHEET 1	CV-1	COVER SHEET
SHEET 2	AOP-1	PREVIOUSLY APPROVED OVERALL SITE PLAN
SHEET 3	AGP-1	PREVIOUSLY APPROVED GRADING & DRAINAGE PLAN
SHEET 4	EC-1	EXISTING CONDITIONS PLAN
SHEET 5	CP-1	CONSTRUCTION PLAN
SHEET 6	LI-1	LIGHTING PLAN
SHEET 7	SE-1	SOIL EROSION & SEDIMENT CONTROL PLAN
SHEET 8	SED-1	SOIL EROSION & SEDIMENT CONTROL DETAILS
SHEET 9	DE-1	CONSTRUCTION DETAILS-1
SHEET 10	DE-2	CONSTRUCTION DETAILS-2
SHEET 11	LA-1	LANDSCAPE PLAN

TOWNSHIP OF EAST WINDSOR

APPROVED BY	
CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

BOROUGH OF HIGHTSTOWN

APPROVED BY	
CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

### APPLICANT:

KATSIFIS FAMILY, LLC.  
359 US HIGHWAY 130, SUITE 102  
EAST WINDSOR, NJ 08520

**OWNER - BLOCK 57, LOTS 9 & 10:**  
KATSIFIS FAMILY, LLC.  
359 US HIGHWAY 130  
EAST WINDSOR, NJ 08520

### OWNER - BLOCK 57, LOT 11:

KATSIFIS FAMILY, LLC.  
359 US HIGHWAY 130  
EAST WINDSOR, NJ 08520

**OWNER - BLOCK 7, LOT 40.02:**  
KATSIFIS FAMILY, LLC.  
359 US HIGHWAY 130  
EAST WINDSOR, NJ 08520

### OWNER - BLOCK 7, LOT 41:

BOROUGH OF HIGHTSTOWN  
156 BANK STREET  
HIGHTSTOWN, NJ 08520

### PERSON PREPARING SITE PLAN APPLICATION:

MARK SHANE  
(APPLICANT'S ATTORNEY)  
SHANE & WHITE, LLC  
1676 ROUTE 27  
EDISON, NJ 08817

DATE OF ISSUE: FEBRUARY 11, 2022  
PLANS REVISED THROUGH: JULY 13, 2022

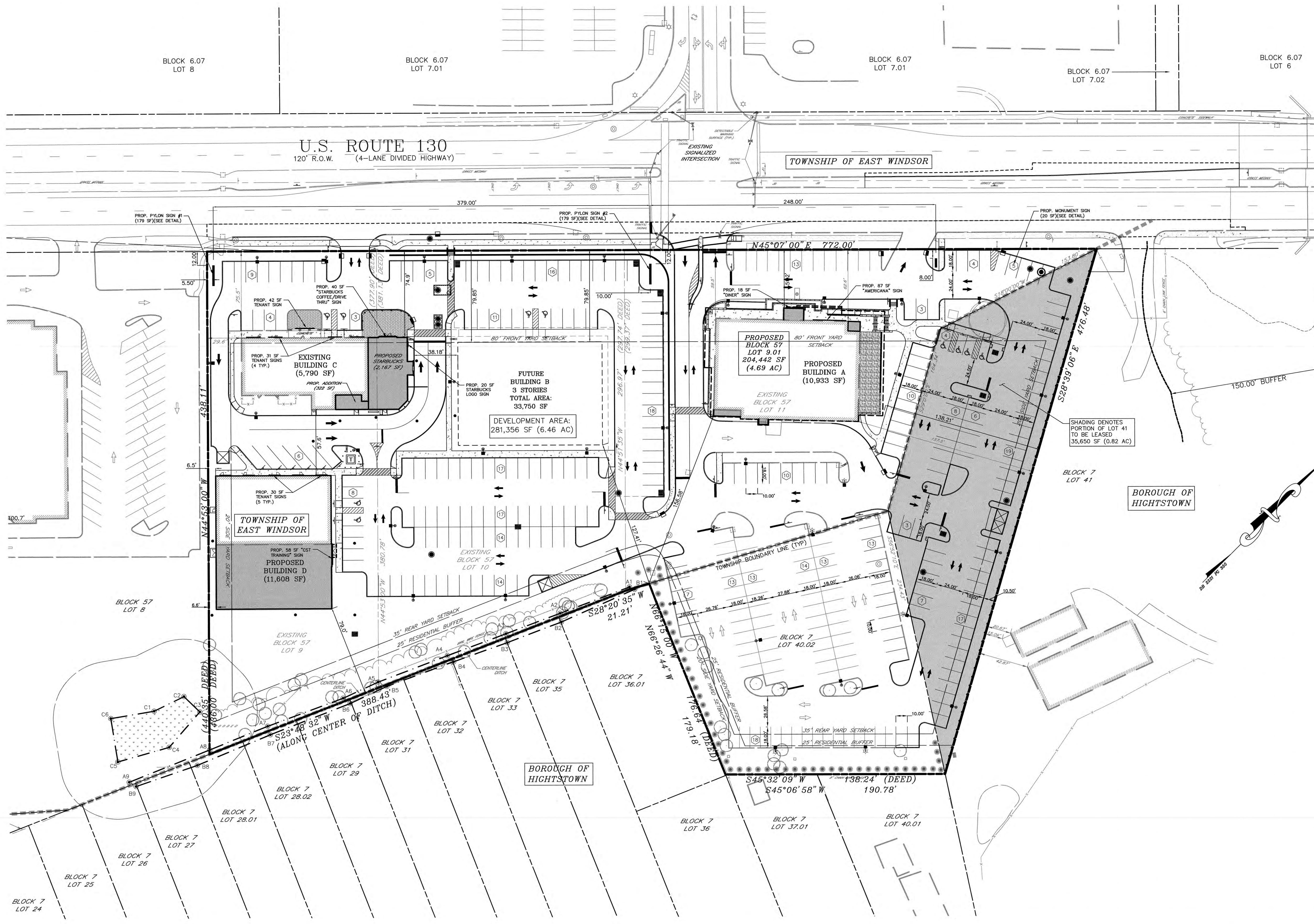
SHEET 1



**MENLO ENGINEERING ASSOCIATES, INC.**

CIVIL ENGINEERING CONSULTANTS & PROFESSIONAL PLANNERS  
261 CLEVELAND AVENUE HIGHLAND PARK, NEW JERSEY 08904  
JOB No. 2005.109.02 DWG. No. CV-1





H-C ZONE DATA (EAST WINDSOR)				
HIGHWAY COMMERCIAL DISTRICT				
SECTION	ITEM	REQUIRED	EXISTING	PROPOSED
<b>LOT CALCULATIONS:</b>				
20-19.4(d)	MINIMUM LOT SIZE	60,000 SF	204,442 SF (4.89 AC)	204,442 SF (4.89 AC)
20-19.4(d)	MINIMUM LOT WIDTH	250 FT	772 FT	772 FT
<b>SETBACKS:</b>				
20-19.4(d)	FRONT YARD	80 FT	52.6 FT (BLDG A) 74.9 FT (BLDG C)	51.2 FT (BLDG A) 74.9 FT (BLDG C)
20-19.4(d)	SIDE YARD (ONE)	20 FT	6.5 FT (BLDG D)	6.5 FT (BLDG D)
20-19.4(d)	SIDE YARD (BOTH)	40 FT	164.0 FT	144.71 FT
20-19.4(d)	REAR YARD	35 FT	131.2 FT (BLDG D)	127.4 FT (BLDG B) 78.0 FT (BLDG D)
<b>BUILDINGS/IMPROVEMENTS:</b>				
20-19.4(d)	MAXIMUM BUILDING COVERAGE ***	20%	11.1% (22,666 SF)	14.9% (WITH LEASED AREA) 17.1% (W/O LEASED AREA)
20-19.4(d)	MAXIMUM IMPERVIOUS COVERAGE ***	80%	62.2% (127,073 SF)	76.1% (WITH LEASED AREA) 76.3% (W/O LEASED AREA)
20-19.4(d)	MAXIMUM HEIGHT (FEET)	40 FT	<40 FT	<40 FT
20-19.4(d)	(STORES)	N/A	1 STORY	3 STORES
20-19.4(d)	MAXIMUM FLOOR AREA RATIO ***	0.30	0.11 (22,666 SF)	0.230 (WITH LEASED AREA) 0.283 (W/O LEASED AREA)
20-16.5(d)	MINIMUM LANDSCAPED BUFFER	15 FT ALONG ANY STREET	0.56 FT (LOT 11)	0.56 FT (LOT 11)
20-16.5(d)		25 FT ALONG RESIDENTIAL	8.3 FT (LOT 11)	8.3 FT (LOT 11)
<b>PARKING:</b>				
19A-2.3(b)	RESTAURANT: 345 SEATS (BLDG A) + 42 SEATS (STARBUCKS) = 387 TOTAL SEATS	1 SPACE/2.5 SEATS = 155 SPACES		
19A-2.3(b)	RETAIL/OFFICE: 33,750 SF (BLDG B) + 6,112 SF (BLDG C) = 42,757 SF	1 SPACE/200 SF = 214 SPACES		
19A-2.3(b)	FITNESS CENTER: 11,608 SF (BLDG D)	1 SPACE/200 SF = 58 SPACES		
	TOTAL NUMBER OF SPACES	414 SPACES	228 SPACES (TOTAL)	194 IN EAST WINDSOR (342 SPACES TOTAL)
22-9.2(a)	STALL SIZE	9 FT x 18 FT	9 FT x 18 FT	10 FT x 18 FT
22-9.2(a)	STALL SIZE (RETAIL)	10 FT x 18 FT	9 FT x 18 FT	10 FT x 18 FT
22-9.2(b)	MINIMUM AISLE WIDTH	24 FT	24 FT	24 FT
<b>OFF-STREET LOADING:</b>				
19A-2.4(b)	SIZE OF SPACE	12 FT x 30 FT		12 FT x 30 FT
19A-2.4(b)	NUMBER OF SPACES			
19A-2.4(b)	RESTAURANT (10,000-20,000 SF)	2 SPACES	2 SPACES (BLDG A)	2 SPACES (BLDG A)
19A-2.4(b)	RETAIL (2,000-10,000 SF)	2 SPACES	0 SPACES	0 SPACES
19A-2.4(b)	OFFICE (10,000-100,000 SF)	2 SPACES	N/A	0 SPACES

● = EXISTING NON-COMFORMANCE  
 ● = VARIANCE PREVIOUSLY GRANTED  
 ● = VARIANCE REQUIRED  
 N/A = NOT APPLICABLE

R-3 ZONE DATA (HIGHTSTOWN)				
RESIDENTIAL - SINGLE FAMILY				
SECTION	ITEM	REQUIRED	EXISTING	PROPOSED
<b>LOT CALCULATIONS:</b>				
28-3-7	MINIMUM LOT SIZE	10,000 SF	76,914 SF (1.77 AC)	76,914 SF (1.77 AC)
28-3-7.b.1	MINIMUM LOT WIDTH	75 FT	N/A	N/A
28-3-7.b.2	MINIMUM LOT DEPTH	100 FT	476.48 FT	476.48 FT
<b>SETBACKS:</b>				
28-3-7.b.4	FRONTYARD	25 FT	N/A	N/A
28-3-7.b.5	SIDEYARD (ONE)	10 FT	N/A	N/A
28-3-7.b.6	SIDEYARD (BOTH)	25 FT	N/A	N/A
28-3-7.b.7	REARYARD	35 FT	N/A	N/A
<b>BUILDINGS/IMPROVEMENTS:</b>				
28-3-7.b.10	MAXIMUM BUILDING COVERAGE	30%	N/A	N/A
28-3-7.b.10	MAXIMUM IMPERVIOUS COVERAGE ***	40%	87.14% (87,028 SF)	75.04% (57,719 SF)
28-3-7.b.9	MAXIMUM HEIGHT (FEET)	35 FT	N/A	N/A
28-3-7.b.9	(STORES)	2.5	N/A	N/A
<b>PARKING:</b>				
28-10-10	TOTAL NUMBER OF SPACES	N/A	N/A	148 IN HIGHTSTOWN (342 SPACES TOTAL)
28-10-10.i	STALL SIZE	9 FT x 20 FT	10 FT x 18 FT	10 FT x 18 FT
28-10-10.c	MINIMUM AISLE WIDTH	24 FT	24 FT	24 FT

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 ● = VARIANCE REQUIRED  
 SHADING INDICATES CHANGE FROM PREVIOUSLY SUBMITTED SITE PLAN

\*\*\* F.A.R., BUILDING COVERAGE AND IMPERVIOUS COVERAGE CALCULATED USING THE FOLLOWING AREAS:  
 SUM OF BUILDING FOOTPRINTS: 42,070 SF (INCLUDING FUTURE BUILDING B)  
 SUM OF BUILDING AREA: 64,750 SF (INCLUDING FUTURE BUILDING B)

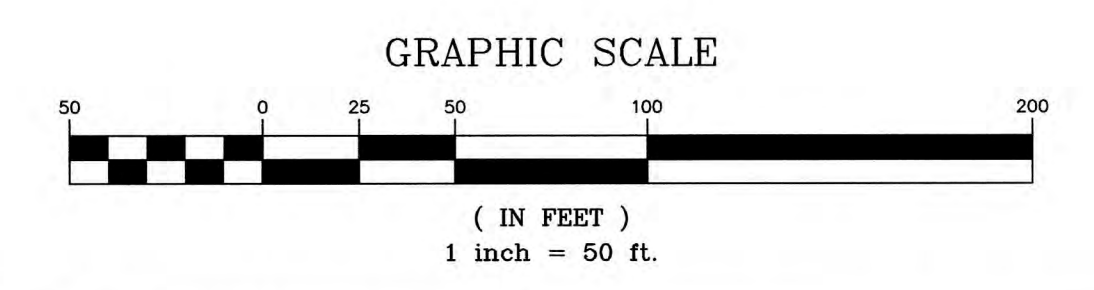
IMPERVIOUS AREA WITHIN EAST WINDSOR: 157,053 SF  
 IMPERVIOUS AREA WITHIN LOT 40.02 (HIGHTSTOWN): 31,378 SF  
 IMPERVIOUS AREA WITHIN LEASED AREA (LOT 41, HIGHTSTOWN): 26,341 SF  
 IMPERVIOUS AREA WITHIN HIGHTSTOWN (TOTAL): 57,719 SF  
 TOTAL IMPERVIOUS AREA FOR DEVELOPMENT WITH THE LEASE AREA: 214,772 SF  
 TOTAL IMPERVIOUS AREA FOR DEVELOPMENT W/O LEASE AREA: 179,122 SF  
 DEVELOPMENT AREA (WITH LEASE AREA IN HIGHTSTOWN): 281,356 SF  
 DEVELOPMENT AREA (WITHOUT LEASE AREA IN HIGHTSTOWN): 245,706 SF

NOTES:  
 1. IF THE FITNESS CENTER IN BUILDING D WAS TO CHANGE TO EITHER A RETAIL OR RESTAURANT USE, AMENDED SITE PLAN APPROVAL WOULD BE REQUIRED.

FACADE SIGNS			
SECTION	ITEM	REQUIRED	PROPOSED
20-5 1606(a)2	AREA	10% OF FACADE AREA, THEREFORE: BUILDING A: 2,934 SF x 0.1 = 293 SF BUILDING B: 14,240 SF x 0.1 = 1,424 SF BUILDING C: 2,505 SF x 0.1 = 251 SF BUILDING D: 4,024 SF x 0.1 = 402 SF TOTAL AREA = 2,370 SF	<b>BUILDING A:</b> "AMERICANA" SIGN = 87 SF "DINER" SIGN = 18 SF TOTAL AREA FOR BUILDING A = 105 SF <b>BUILDING B:</b> FIVE (5) TENANT SIGNS @ 35 SF EACH = 175 SF <b>BUILDING C:</b> "STARBUCK COFFEE/DRIVE THRU" SIGN = 40 SF STARBUCK LOGO SIGN = 20 SF FOUR (4) TENANT SIGNS @ 31 SF EACH = 124 SF ONE (1) TENANT SIGN @ 42 SF EACH = 42 SF TOTAL AREA FOR BUILDING C = 226 SF <b>BUILDING D:</b> ONE (1) "CTS TRAINING" SIGN = 58 SF FIVE (5) TENANT SIGNS @ 30 SF EACH = 150 SF TOTAL AREA FOR BUILDING D = 208 SF TOTAL AREA = 714 SF
20-5 1606(a)3	NUMBER OF SIGNS	ONE (1) SIGN PER OCCUPANCY, THEREFORE: BUILDING A: 1 SIGN ALLOWED BUILDING B: 6-18 SIGNS ALLOWED (WITH 2-6 TENANTS PER FLOOR) BUILDING C: 7 SIGNS ALLOWED BUILDING D: 6 SIGNS ALLOWED	BUILDING A: 2 SIGNS PROPOSED ●● BUILDING B: 5 SIGNS PROPOSED ●● BUILDING C: 7 SIGNS PROPOSED ●● BUILDING D: 6 SIGNS PROPOSED ●●

FREESTANDING SIGNS			
SECTION	ITEM	REQUIRED	PROPOSED
20-5 1606(b)1	AREA	1 SF/1' OF STREET FRONTAGE OR 150 SF (WHICHEVER IS LESS)	PYLON SIGN #1: 187 SF PYLON SIGN #2: 187 SF MONUMENT SIGN: 33 SF TOTAL: 407 SF ●●
20-5 1606(b)2	HEIGHT	25 FT	PYLON SIGN #1: 18'-0" PYLON SIGN #2: 18'-0" MONUMENT SIGN: 4'-8"
20-5 1607(a)2	NUMBER OF SIGNS	1/PARCEL PLUS 1 FOR EVERY 300 FT OF FRONTAGE OVER 300 FT TOTAL: 2 SIGNS ALLOWED	TWO (2) PYLON SIGNS ONE (1) MONUMENT SIGN TOTAL: 3 SIGNS ●●
20-5 1606(b)2	SETBACK: R.O.W.	12 FT	8 FT ●●●
20-5 1606(b)6	RESIDENTIAL	50 FT (RESIDENTIAL)	> 50 FT
20-5 1606(b)8	REAR/SIDE	5 FT (REAR/SIDE)	5 FT ●●
20-5 1606(b)4	DISTANCE BETWEEN SIGNS	300 FT	248 FT ●●●

●● = VARIANCE PREVIOUSLY GRANTED  
 ●●● = VARIANCE REQUIRED



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY ENGINEERS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

**MENLO ENGINEERING ASSOCIATES, INC.**  
 CIVIL ENGINEERS, LAND SURVEYORS AND PROFESSIONAL PLANNERS  
 261 CLEVELAND AVENUE HIGHLAND PARK, NEW JERSEY 08904  
 PHONE: (732) 846-8585 FAX: (732) 846-9439  
 CERTIFICATE OF AUTHORIZATION: 24C227951900

**AMERICANA CENTER**  
 359, 369 & 375 US ROUTE 130, EAST WINDSOR, NEW JERSEY  
 TOWNSHIP OF EAST WINDSOR, MERCER COUNTY, NEW JERSEY  
 BOROUGH OF HIGHTSTOWN, MERCER COUNTY, NEW JERSEY

**PREVIOUSLY APPROVED OVERALL SITE PLAN**  
 BLOCK 57-LOTS 9, 10, 11; BLOCK 7-LOTS 40.02 & 41; DEVELOPMENT AREA: 281,356 SF (6.46 AC)

DATE OF ISSUE: OCTOBER 9, 2017  
 REV. 3) APRIL 25, 2019

SCALE: 1"=50'  
 JOB # 2005.109.02  
 DWG # AOP-1  
 SHEET # 2

DRWN BY: SK  
 DSN BY: SK  
 CHKD. BY: GSO  
 APPROV. BY: GSO

GREGORY S. OMAN  
 PROFESSIONAL ENGINEER  
 NJPE#4344



BLOCK 6.0/  
LOT 8

BLOCK 6.0/  
LOT 7.01

BLOCK 6.07  
LOT 7.01

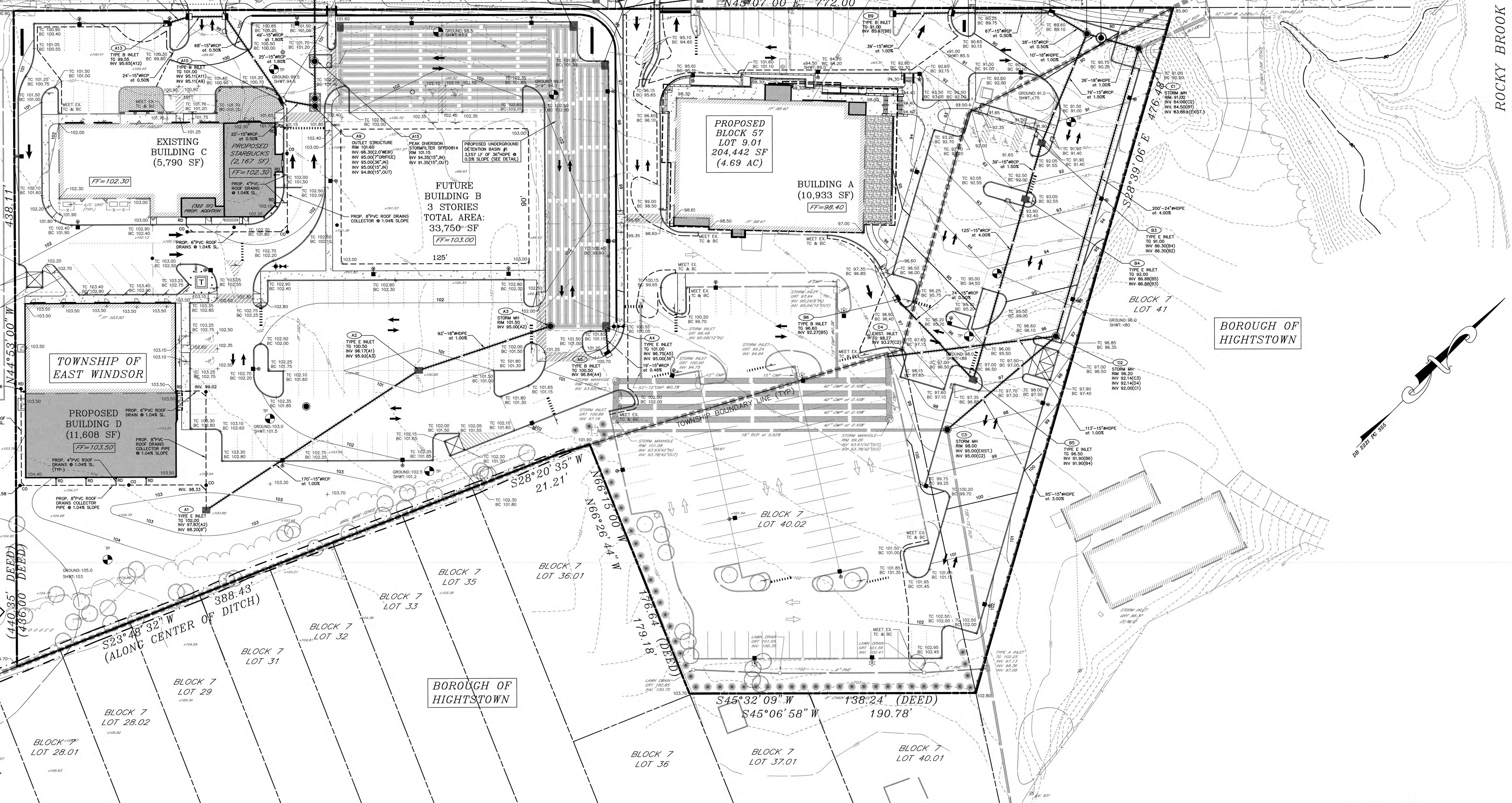
BLOCK 6.07  
LOT 7.02

BLOCK 6.0/  
LOT 6

U.S. ROUTE 130  
120' R.O.W. (4-LANE DIVIDED HIGHWAY)

TOWNSHIP OF EAST WINDSOR

ROCKY BROOK



GENERAL NOTES

- 1. NAVD 88 DATUM TO BE VERIFIED BY PROFESSIONAL SURVEYOR.
2. ALL CONSTRUCTION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND/OR ANY OTHER GOVERNING BODIES STANDARDS.
3. THE CONTRACT DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION (1-800-272-1000). ANY CONFLICTS WITH PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER ARE TO BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANIES STANDARDS. ALL EXISTING UTILITIES EXPOSED DURING CONSTRUCTION ARE TO BE SUPPORTED UNTIL BACKFILL IS IN PLACE. ANY CROSSINGS LESS THAN ONE FOOT CLEAR TO BE SUPPORTED WITH A SADDLE (CONCRETE OR SAND AS NOTED).
4. DESIGN AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CABLE TV TO BE PROVIDED BY RESPECTIVE UTILITY COMPANIES.
5. ALL DRAINAGE TO BE REINFORCED CONCRETE PIPE CLASS III - WALL B UNLESS OTHERWISE NOTED. ALL SANITARY PIPES TO BE 300-35 PVC PIPE UNLESS OTHERWISE NOTED. ALL WATERLINES TO BE CLASS 32 CEMENT-LINED DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.
6. WATERLINE AND SANITARY SEWER TO BE A MINIMUM OF TEN (10) FEET APART HORIZONTALLY AND EIGHTEEN (18) INCHES VERTICALLY UNLESS OTHERWISE NOTED.
7. WATERLINES TO HAVE A MINIMUM OF FOUR (4) FEET COVER.

- 8. CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (THE LATEST EDITION AND AMENDMENTS).
9. FOR SPECIFIC BUILDING DETAILS SEE ARCHITECTURAL DRAWINGS.
10. SITE GRADING AND UTILITY WORK ARE TO BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO EXISTING VEGETATION AND TREES. ALL AREAS NOT AFFECTED BY CONSTRUCTION ARE TO REMAIN NATURAL AND UNDISTURBED.
11. ALL EXISTING OR PROJECT GENERATED DEBRIS IS TO BE REMOVED AND PROPERLY DISPOSED ACCORDING TO ALL APPLICABLE REGULATIONS.
12. TOPSOIL THAT HAS BEEN REMOVED FOR THE GRADING OF THE SITE SHALL NOT BE USED AS SPILL. THE TOPSOIL SHALL BE REDISTRIBUTED ON GREEN AREAS SO AS TO PROVIDE A MINIMUM OF AT LEAST SIX (6) INCHES OF COVER ON THOSE AREAS.
13. SIDE SLOPES TO BE GRADED AT A MAXIMUM OF 3:1.
14. COMPACTION IN FILL AREAS BENEATH ALL PROPOSED UTILITIES AND STRUCTURES SHOULD MEET ALL MANUFACTURERS AND TOWNSHIP REQUIREMENTS AND BE EQUAL TO THE MINIMUM 95% MODIFIED PROCTOR DENSITY.
15. NO ON-SITE SOIL TESTING HAS BEEN PERFORMED ON THIS PROJECT BY THE DESIGN ENGINEER. IT SHALL BE THE OWNER AND/OR CONTRACTORS RESPONSIBILITY TO CONDUCT SOIL TESTING TO CONFIRM APPLICABILITY OF PROPOSED IMPROVEMENTS AND CONSTRUCTION TECHNIQUES WITH RESPECT TO SUBSURFACE SOIL AND GROUNDWATER CONDITIONS.

- 16. ADEQUACY OF WATER SUPPLY SYSTEM FOR FIRE PROTECTION HAS NOT BEEN CONFIRMED WITH RESPECTIVE WATER SUPPLIER OR INSURANCE COMPANY. WATER SUPPLY SYSTEM TO BE REVIEWED AND APPROVED BY THE ARCHITECT AND WATER COMPANY PRIOR TO CONSTRUCTION OR ORDERING.
17. THE APPLICANT SHALL BE RESPONSIBLE FOR THE INSTALLATION OF STREET LIGHTING FACILITIES AS DESIGNED AND INSTALLED BY RESPECTIVE COMPANY, AS APPROVED BY THE PLANNING BOARD, AND IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS. STREET LIGHTING SHALL BE APPROPRIATELY SHIELDED TO AVOID GLARE INTO NEARBY HOMES. LIGHTING PLANS TO BE SUBMITTED TO BOROUGH FOR APPROVAL.
18. SANITARY SEWER DESIGN (N.J.A.C. 7:14A-23.6(a)(4))
SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORM WATER FLOW, OR INDUSTRIAL FLOW SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST TEN (10) FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST EIGHTEEN (18) INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE DEPARTMENT.
WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST TEN (10) FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE DEPARTMENT MAY ALSO REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWERS OVER SEWER LINES.

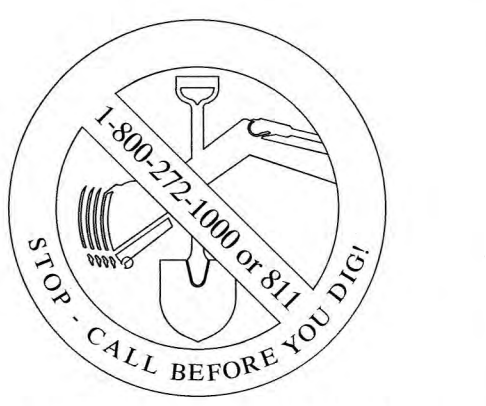
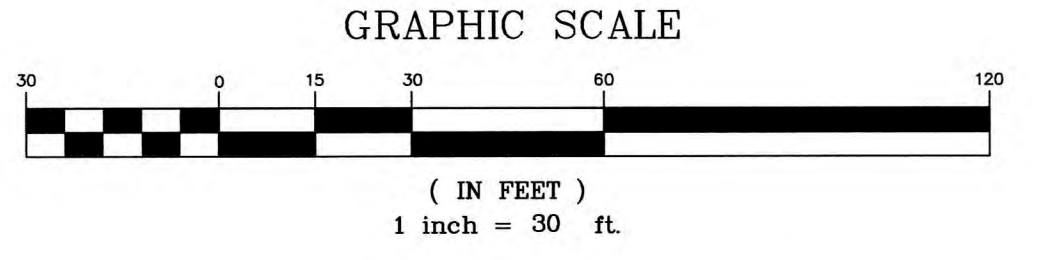
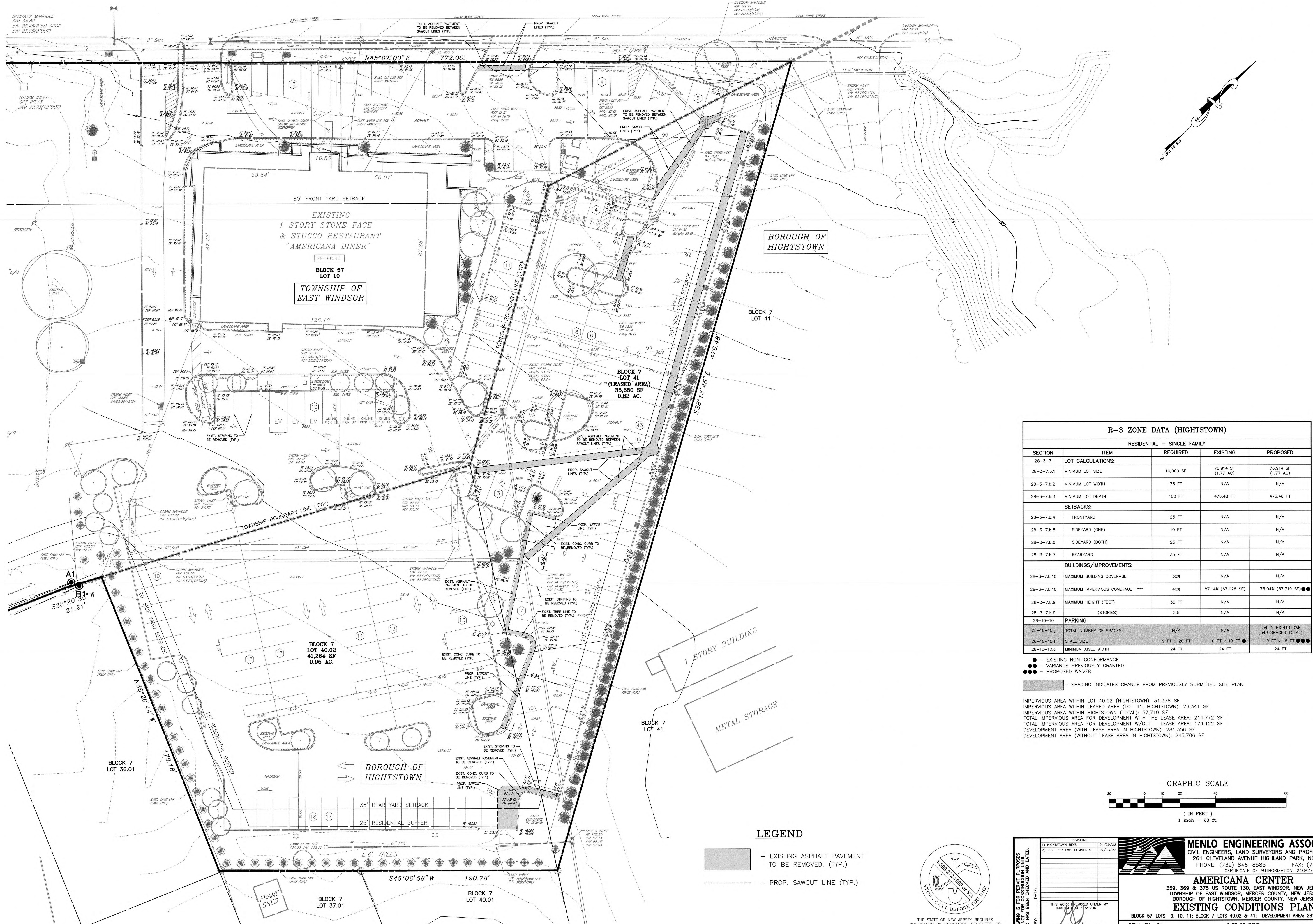


Table with columns: NO., REVISIONS, DATE. Includes revision history and project details like 'THIS DRAWING IS FOR PERMIT PURPOSES ONLY' and 'DATE: 04/25/19'.

MENLO ENGINEERING ASSOCIATES, INC. CIVIL ENGINEERS, LAND SURVEYORS AND PROFESSIONAL PLANNERS. 261 CLEVELAND AVENUE HIGHLAND PARK, NEW JERSEY 08904. PHONE: (732) 846-8585 FAX: (732) 846-9439. CERTIFICATE OF AUTHORIZATION: 240A27951900. AMERICANA CENTER 359, 369 & 375 US ROUTE 130, EAST WINDSOR, NEW JERSEY. PREVIOUSLY APPROVED GRADING & DRAINAGE PLAN. BLOCK 57-LOTS 9, 10, 11; BLOCK 7-LOTS 40.02 & 41; DEVELOPMENT AREA: 281,356 SF (6.46 AC). SCALE: 1"=30'. DATE OF ISSUE: OCTOBER 9, 2017. REV. 3) APRIL 25, 2019. SHEET # 3.



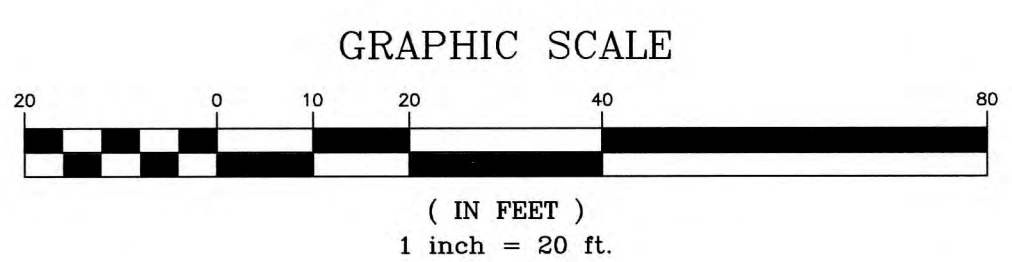
# NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130 (120' WIDE R.O.W.)



R-3 ZONE DATA (HIGHTSTOWN)				
RESIDENTIAL - SINGLE FAMILY				
SECTION	ITEM	REQUIRED	EXISTING	PROPOSED
28-3-7	LOT CALCULATIONS:			
28-3-7.1	MINIMUM LOT SIZE	10,000 SF	76,914 SF (1.77 AC)	76,914 SF (1.77 AC)
28-3-7.2	MINIMUM LOT WIDTH	75 FT	N/A	N/A
28-3-7.3	MINIMUM LOT DEPTH	100 FT	476.48 FT	476.48 FT
<b>SETBACKS:</b>				
28-3-7.4	FRONTYARD	25 FT	N/A	N/A
28-3-7.5	SIDEYARD (ONE)	10 FT	N/A	N/A
28-3-7.6	SIDEYARD (BOTH)	25 FT	N/A	N/A
28-3-7.7	REARYARD	35 FT	N/A	N/A
<b>BUILDINGS/IMPROVEMENTS:</b>				
28-3-7.10	MAXIMUM BUILDING COVERAGE	30%	N/A	N/A
28-3-7.10	MAXIMUM IMPERVIOUS COVERAGE ***	40%	87.14% (67,028 SF)	75.04% (57,719 SF) ●●
28-3-7.9	MAXIMUM HEIGHT (FEET)	35 FT	N/A	N/A
28-3-7.9	(STORIES)	2.5	N/A	N/A
28-10-10	<b>PARKING:</b>			
28-10-10.i	TOTAL NUMBER OF SPACES	N/A	N/A	154 IN HIGHTSTOWN (349 SPACES TOTAL)
28-10-10.f	STALL SIZE	9 FT x 20 FT	10 FT x 18 FT ●	9 FT x 18 FT ●●●
28-10-10.c	MINIMUM AISLE WIDTH	24 FT	24 FT	24 FT

● = EXISTING NON-COMFORMANCE  
 ●● = VARIANCE PREVIOUSLY GRANTED  
 ●●● = PROPOSED WAIVER  
 ■ = SHADING INDICATES CHANGE FROM PREVIOUSLY SUBMITTED SITE PLAN

IMPERVIOUS AREA WITHIN LOT 40.02 (HIGHTSTOWN): 31,378 SF  
 IMPERVIOUS AREA WITHIN LEASED AREA (LOT 41, HIGHTSTOWN): 26,341 SF  
 IMPERVIOUS AREA WITHIN HIGHTSTOWN (TOTAL): 57,719 SF  
 TOTAL IMPERVIOUS AREA FOR DEVELOPMENT WITH THE LEASE AREA: 214,772 SF  
 TOTAL IMPERVIOUS AREA FOR DEVELOPMENT W/O LEASE AREA: 179,122 SF  
 DEVELOPMENT AREA (WITH LEASE AREA IN HIGHTSTOWN): 281,356 SF  
 DEVELOPMENT AREA (WITHOUT LEASE AREA IN HIGHTSTOWN): 245,706 SF



- LEGEND**
- - EXISTING ASPHALT PAVEMENT TO BE REMOVED. (TYP.)
  - - - - - PROP. SAWCUT LINE (TYP.)



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

STOP - CALL BEFORE YOU DIG

**MENLO ENGINEERING ASSOCIATES, INC.**  
 CIVIL ENGINEERS, LAND SURVEYORS AND PROFESSIONAL PLANNERS  
 261 CLEVELAND AVENUE HIGHLAND PARK, NEW JERSEY 08904  
 PHONE: (732) 846-8585 FAX: (732) 846-9439  
 CERTIFICATE OF AUTHORIZATION: 24627951900

**AMERICANA CENTER**  
 359, 369 & 375 US ROUTE 130, EAST WINDSOR, NEW JERSEY  
 TOWNSHIP OF EAST WINDSOR, MERCER COUNTY, NEW JERSEY  
 BOROUGH OF HIGHTSTOWN, MERCER COUNTY, NEW JERSEY

**EXISTING CONDITIONS PLAN**  
 BLOCK 57-LOTS 9, 10, 11; BLOCK 7-LOTS 40.02 & 41; DEVELOPMENT AREA: 281,356 SF (6.46 AC.)

DATE OF ISSUE: FEBRUARY 11, 2022  
 DATE OF REV: REV 2) JULY 13, 2022

DRAWN BY: SK  
 DESGN BY: SK  
 CHKD. BY: GSO  
 APPRD. BY: GSO

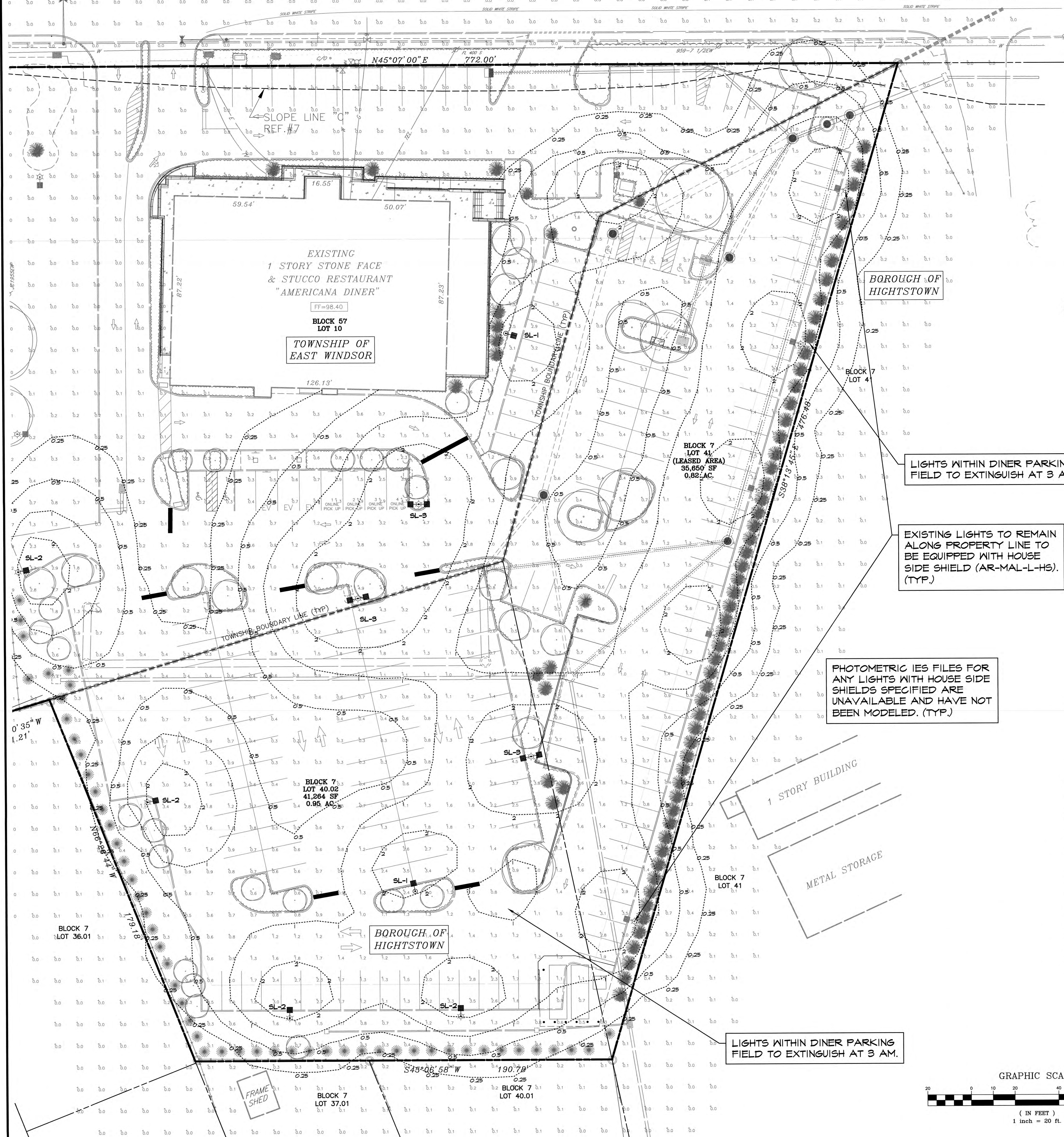
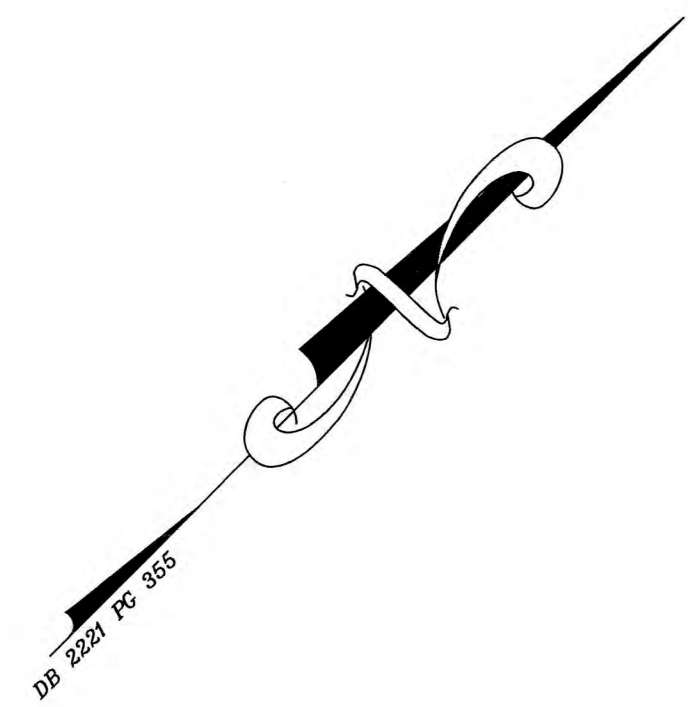
SCALE: 1"=30'  
 JOB #: 2005.109.02  
 DWG #: EC-1  
 SHEET #: 4







NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130  
(120' WIDE R.O.W.)



LIGHTS WITHIN DINER PARKING FIELD TO EXTINGUISH AT 3 AM.

EXISTING LIGHTS TO REMAIN ALONG PROPERTY LINE TO BE EQUIPPED WITH HOUSE SIDE SHIELD (AR-MAL-L-HS). (TYP.)

PHOTOMETRIC IES FILES FOR ANY LIGHTS WITH HOUSE SIDE SHIELDS SPECIFIED ARE UNAVAILABLE AND HAVE NOT BEEN MODELED. (TYP.)

LIGHTS WITHIN DINER PARKING FIELD TO EXTINGUISH AT 3 AM.

**LIGHTING SCHEDULE**

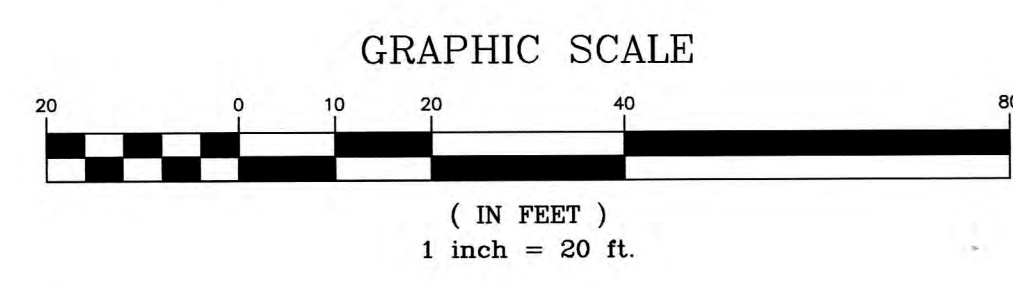
LABEL	QUANTITY	TYPE OF MOUNT	WATTAGE / COLOR TEMP	MOUNTING HEIGHT**	POLE HEIGHT	DISTRIBUTION	CATALOG NUMBER	POLE CATALOG NUMBER
SL-1	2	SINGLE SQUARE POLE	60 WATTS / 4,000 K LED	25.0'	25.0'	TYPE IV	MAXLITE LIGHTING - AR SERIES AR-60-T4-C5(4)-A	MAXLITE LIGHT POLE PL-SAS-25
SL-2	4	RETROFIT EXISTING POLE WITH SINGLE HEAD	60 WATTS / 4,000 K LED	25.0'	EXISTING	TYPE IV WITH HOUSE SIDE SHIELD	MAXLITE LIGHTING - AR SERIES AR-60-T4-C5(4)-A (AR-MAL-L-HS)	EXISTING LIGHT POLE
SL-3	3	RETROFIT EXISTING POLE WITH TWIN HEAD	60 WATTS / 4,000 K LED	25.0'	EXISTING	TYPE IV / TYPE IV	MAXLITE LIGHTING - AR SERIES AR-60-T4-C5(4)-A / AR-60-T4-C5(4)-A	EXISTING LIGHT POLE

PLAN LABELS WITH AN (1) INDICATE A SECURITY LIGHT TO REMAIN ILLUMINATED FROM DUSK TO DAWN.

\*\* ABOVE GRADE

**LIGHTING NOTES:**

- A CONCRETE FOOTING BELOW FINISHED GRADE, SHALL BE INSTALLED FOR EACH FIXTURE. SIZE AND DEPTH TO BE DESIGNED BY STRUCTURAL ENGINEER.
- A MINIMUM OF (0.3) FOOTCANDLES, WITH AN AVERAGE OF (1.2) FOOTCANDLES AND AN AVERAGE TO MINIMUM UNIFORMITY RATIO OF (4.25:1) ARE PROVIDED WITHIN PARKING AREAS AND ACCESS AISLES.
- PARKING AREA POLES TO BE ALUMINUM, NON-TAPERED, SQUARE TO MATCH FIXTURE.
- LIGHT FIXTURES AND POLES TO BE INSTALLED AS PER MANUFACTURERS' SPECIFICATIONS.
- PARKING AREA LIGHTING CONTROLS SHALL BE PHOTOCELL OPERATED TIMER DEACTIVATED DURING HOURS OF OPERATION.
- LIGHT STANDARDS LOCATED IN PLANTING AREAS AND TURF AREAS SHALL BE A MINIMUM OF 30' OFF PAVEMENT CURB FACE. FOOTINGS WITHIN PARKING AREAS SHALL BE 6" ABOVE ADJACENT PAVEMENT GRADE. ALL FOUNDATIONS SHALL BE CYLINDRICAL. POLE HEIGHTS SHALL BE ADJUSTED FOR APPROPRIATE FOUNDATIONS USED WHILE MAINTAINING LUMINAIRE MOUNTING HEIGHT.
- ALL CIRCUIT DIAGRAMS AND ELECTRICAL PLANS FOR EXTERIOR LIGHTING TO SERVICE PANEL SHALL BE DESIGNED BY INTERIOR LIGHTING CONTRACTOR/ENGINEER.
- INSTALLATION OF ALL SITE LIGHTING ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, CODES AND LAWS.
- THIS PLAN WAS PRODUCED USING LIGHTING ANALYSIS ASI PROGRAM WITH THE APPROPRIATE PHOTOMETRIC FILES SUPPLIED BY MAXLITE LIGHTING.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING OVERHEAD WIRES FOR CLEARANCE REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/ENGINEER FOR ANY CONFLICTS PRIOR TO ORDERING LIGHTING EQUIPMENT.
- THE CONTRACT DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. (1-800-272-1000). ANY CONFLICTS WITH PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND LANDSCAPE ARCHITECT. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER SHALL BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANIES STANDARDS. ALL EXISTING UTILITIES EXPOSED DURING CONSTRUCTION ARE TO BE SUPPORTED UNTIL BACKFILL IS IN PLACE.
- ANY LIGHT FIXTURE SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A POINT BY POINT CALCULATION VERIFYING THE SUBSTITUTED FIXTURES PERFORMANCE AND DEMONSTRATING THAT THE REVISED LIGHT LEVELS MATCH THE APPROVED PLANS. MENLO ENGINEERING WILL NOT PERFORM REVISED LIGHTING CALCULATIONS UNLESS AUTHORIZED BY THE OWNER. THE REVISED LIGHT LEVELS MUST BE RESUBMITTED TO THE MUNICIPAL REVIEWING ENGINEER FOR APPROVAL.
- BUILDING MEP OR ELECTRICAL CONTRACTOR TO DETERMINE REQUIRED VOLTAGES FOR ALL SITE LIGHTING.



1) HIGHTSTOWN REVIEW	04/25/22
2) REV. PER TWP. COMMENTS	07/13/22
DATE:	

THIS WORK PREPARED UNDER MY PROFESSIONAL SUPERVISION.

KENNETH R. ORSEWOOD  
LANDSCAPE ARCHITECT  
NJ LICENSE #45000071

**MENLO ENGINEERING ASSOCIATES, INC.**  
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**LIGHTING PLAN**  
BLOCK 57-LOTS 9, 10, 11; BLOCK 7-LOTS 40.02 & 41; DEVELOPMENT AREA: 281,356 SF (6.46 AC.)

DRWN. BY: LH  
DSGN. BY: LH  
CHKD. BY: KRK  
APPRO. BY: KRK

DATE OF ISSUE: FEBRUARY 11, 2022  
REV 2) JULY 13, 2022

SCALE: 1"=20'  
JOB # 2005.109.02  
DWG # U-1  
SHEET # 6

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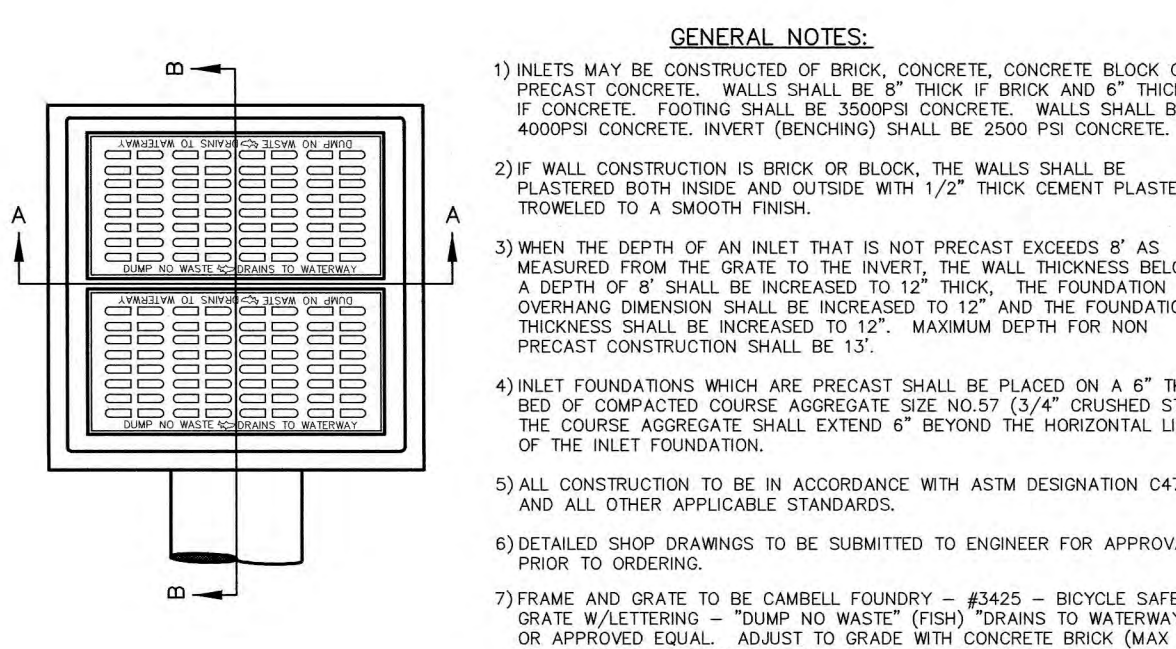






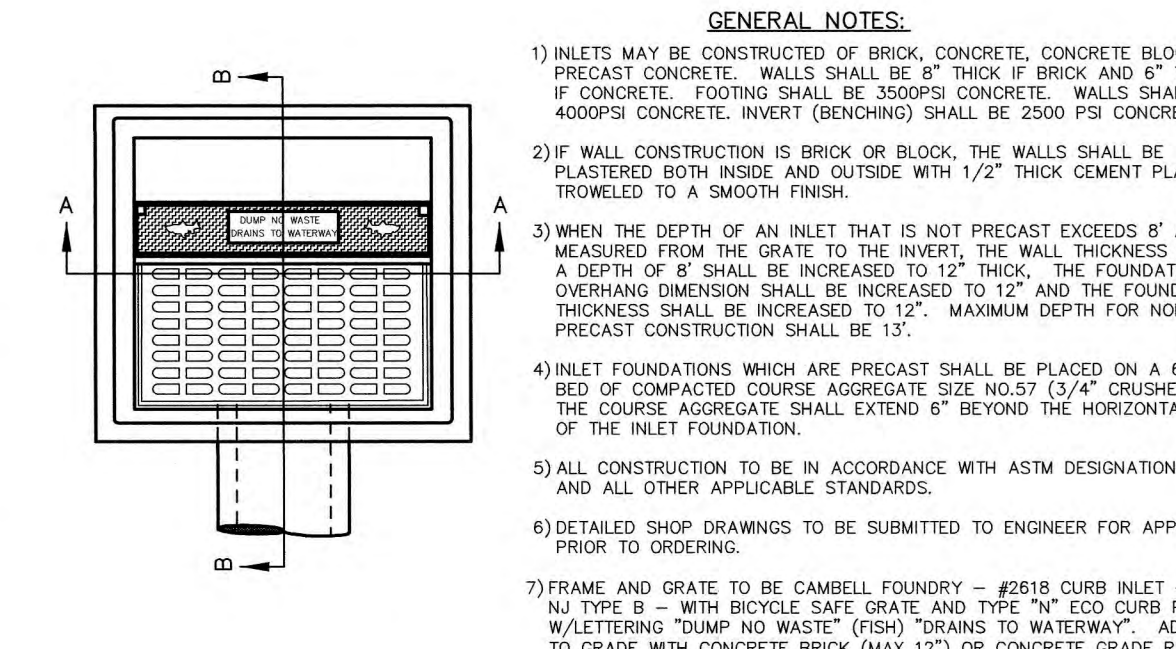






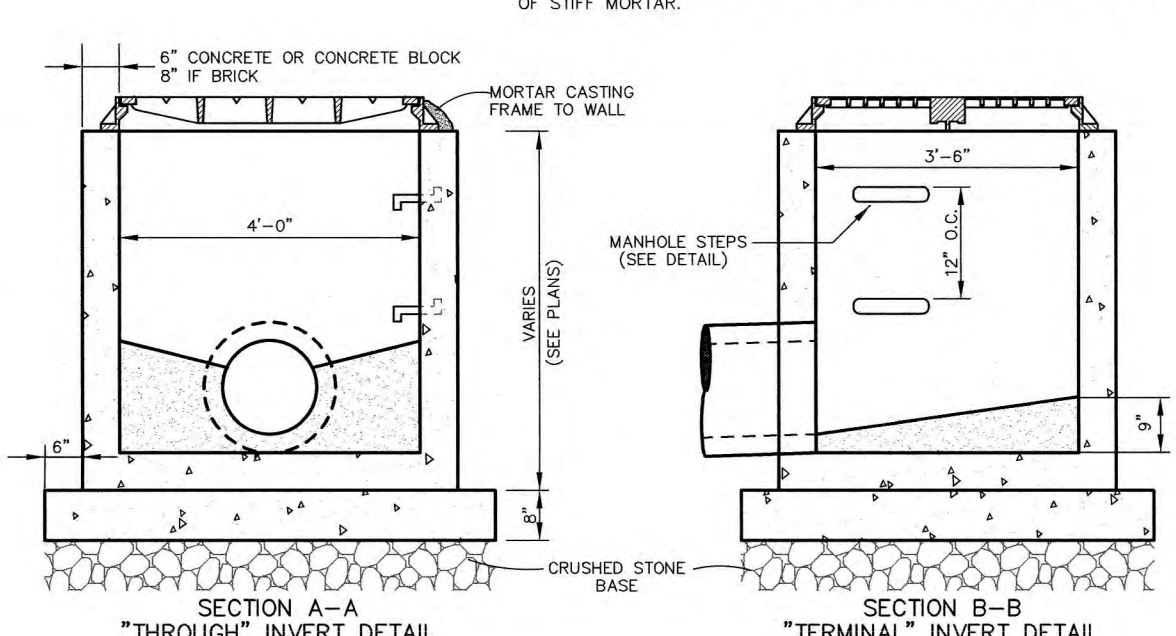
GENERAL NOTES:

- 1) INLETS MAY BE CONSTRUCTED OF BRICK, CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. WALLS SHALL BE 8" THICK IF BRICK AND 6" THICK IF CONCRETE. FOOTING SHALL BE 3000# CONCRETE. WALLS SHALL BE ADAPTED TO INVERT (BENCHING) SHALL BE 2000# CONCRETE.

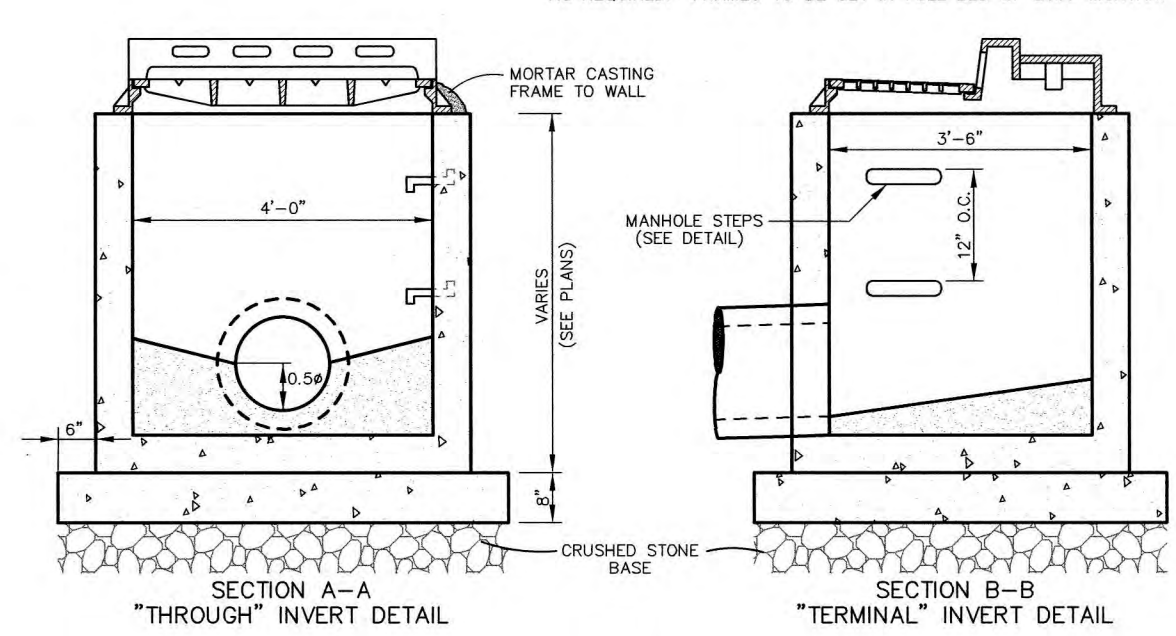


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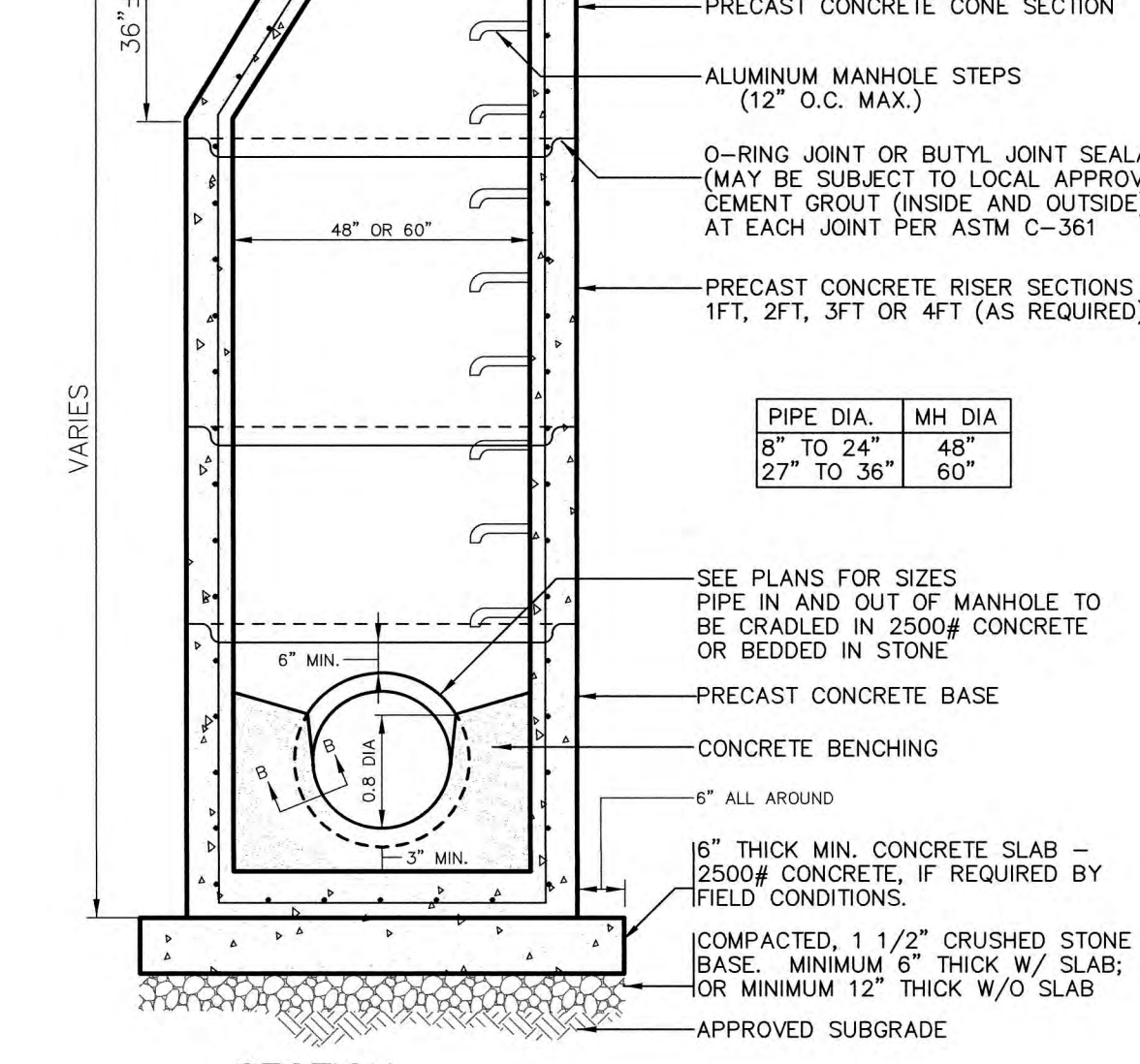
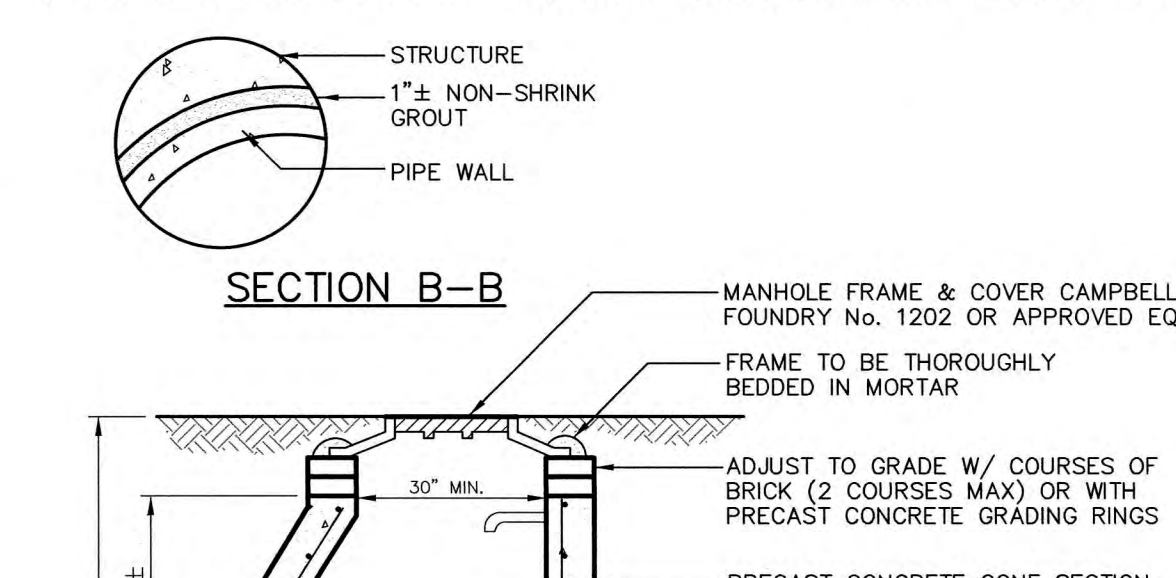


TYPE "E" INLET



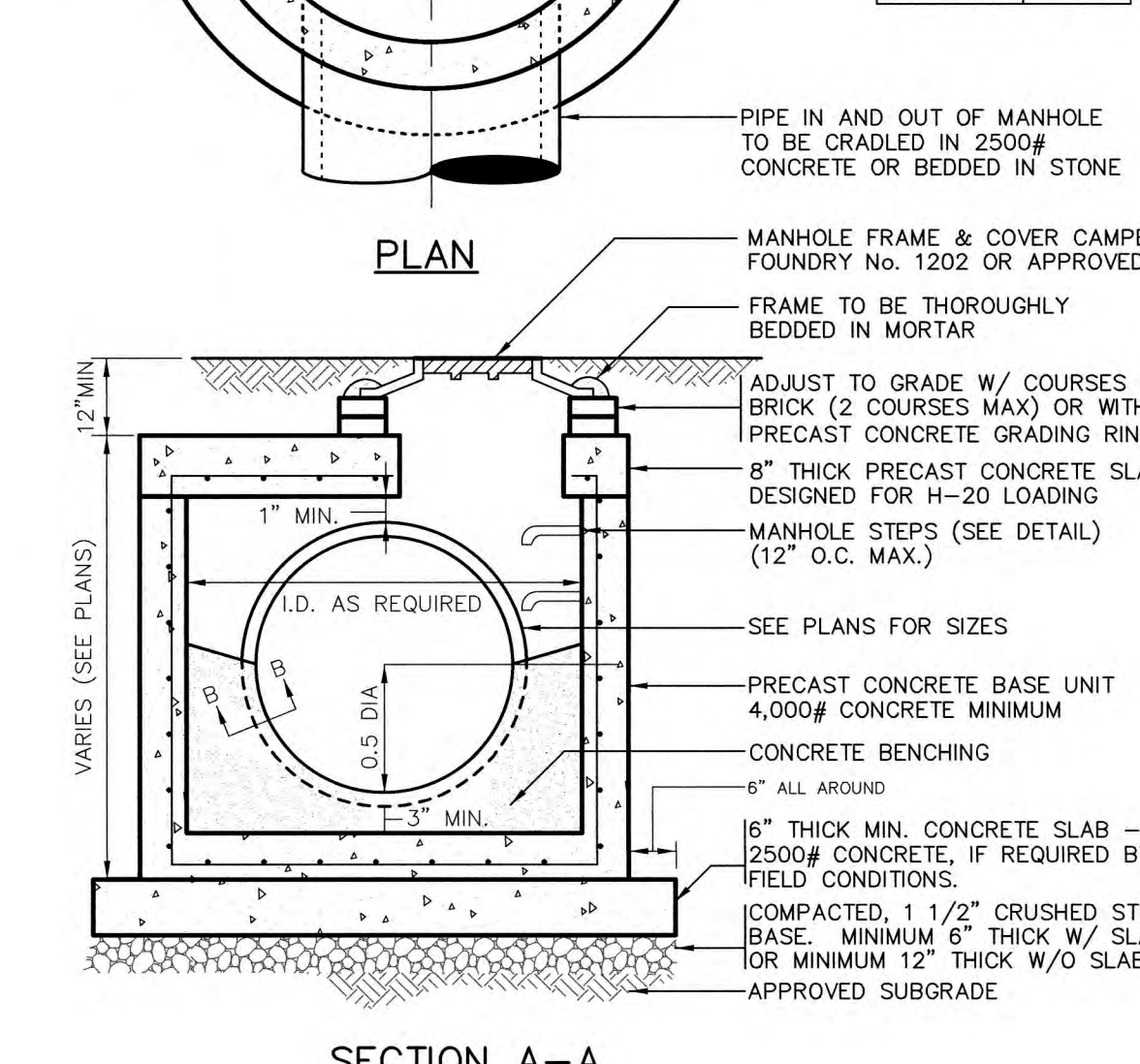
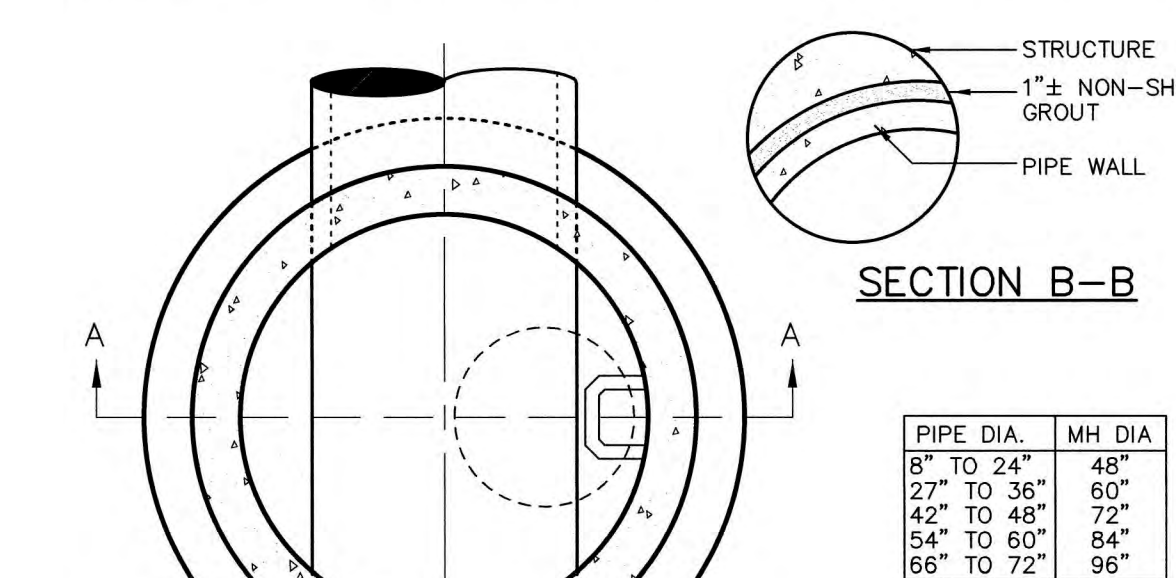
TYPE "B" INLET

MANHOLE NOTES: 1) ALL CONSTRUCTION SHALL MEET STANDARD SPECIFICATIONS, THE LATEST EDITION. 2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.

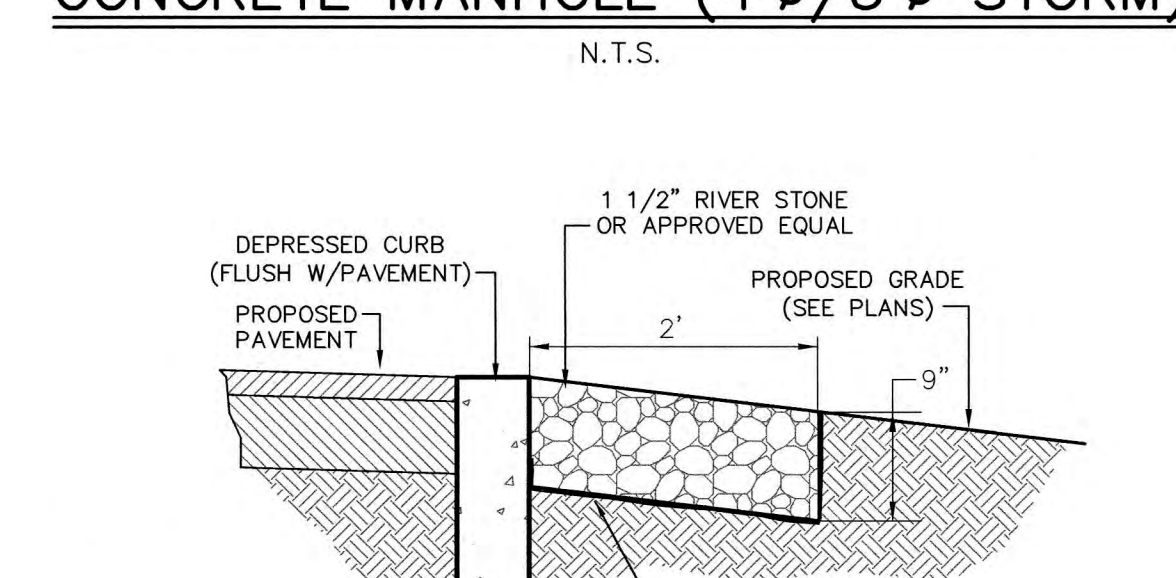


CONCRETE MANHOLE (4'Ø/5'Ø STORM)

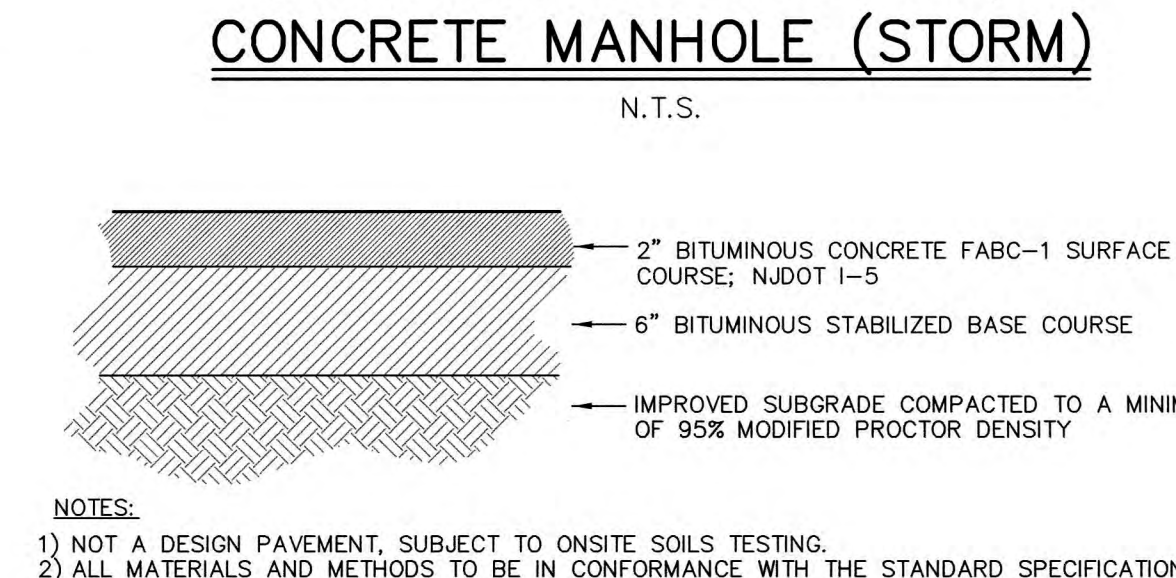
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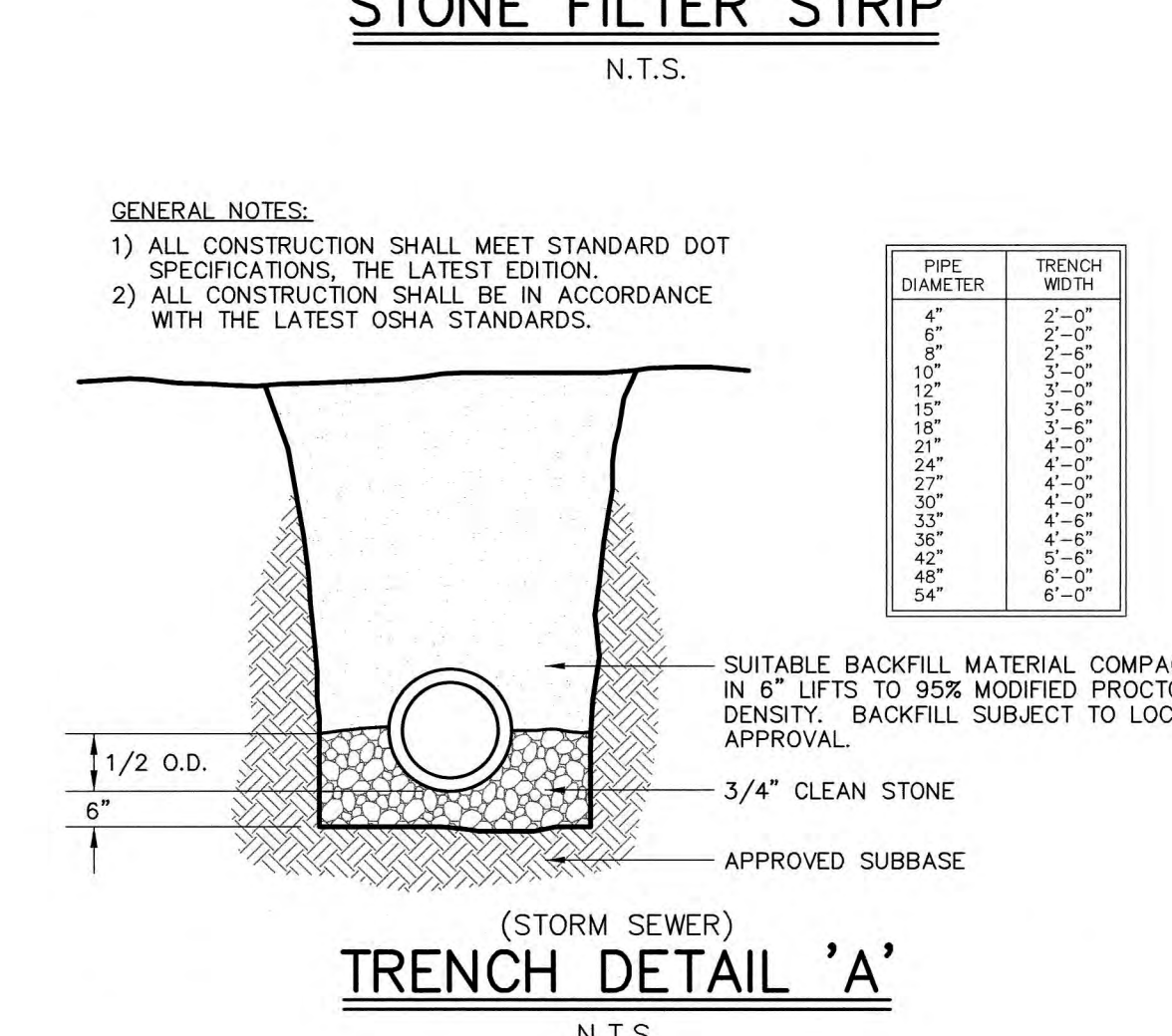
CONCRETE MANHOLE (STORM)



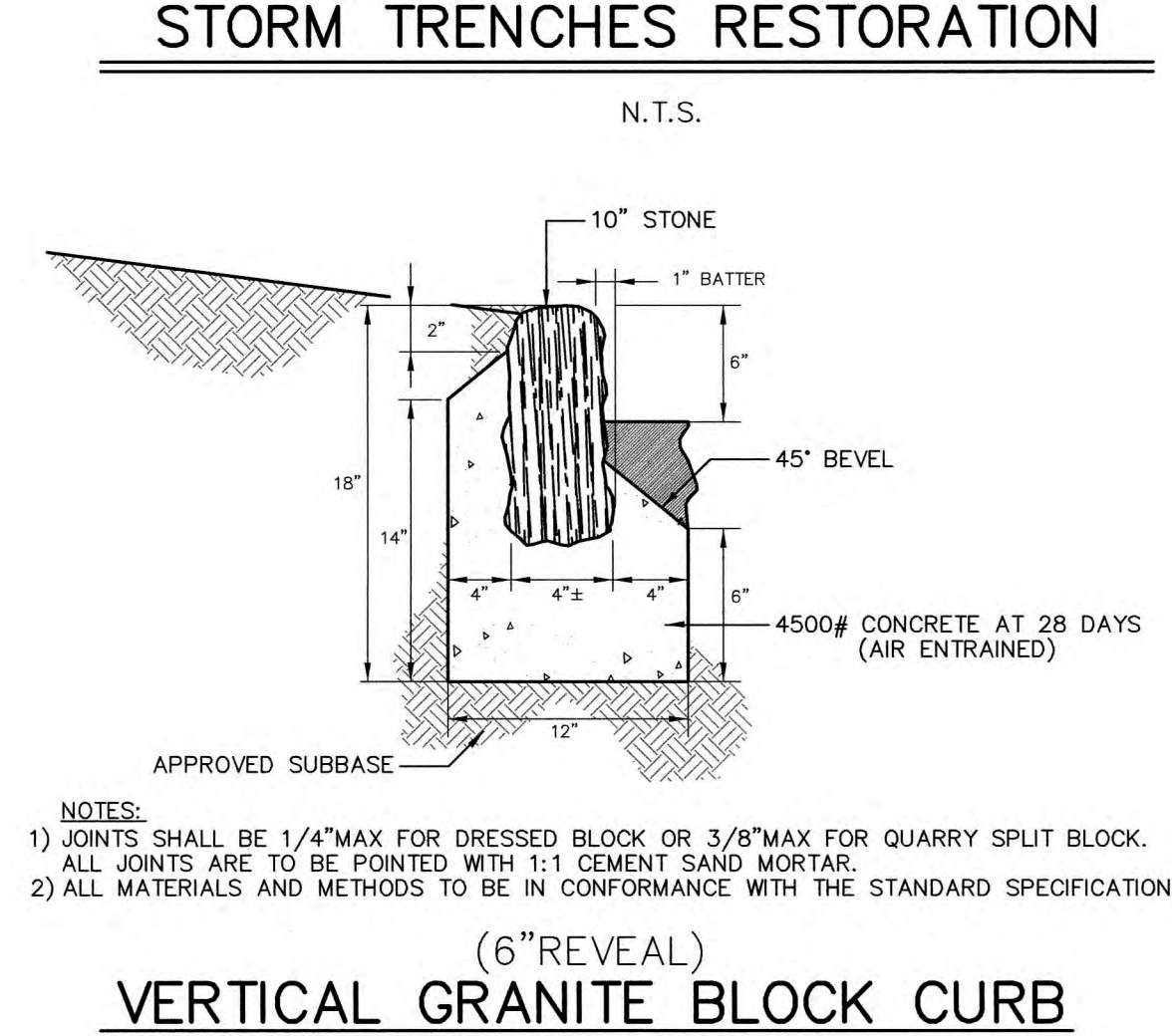
STONE FILTER STRIP



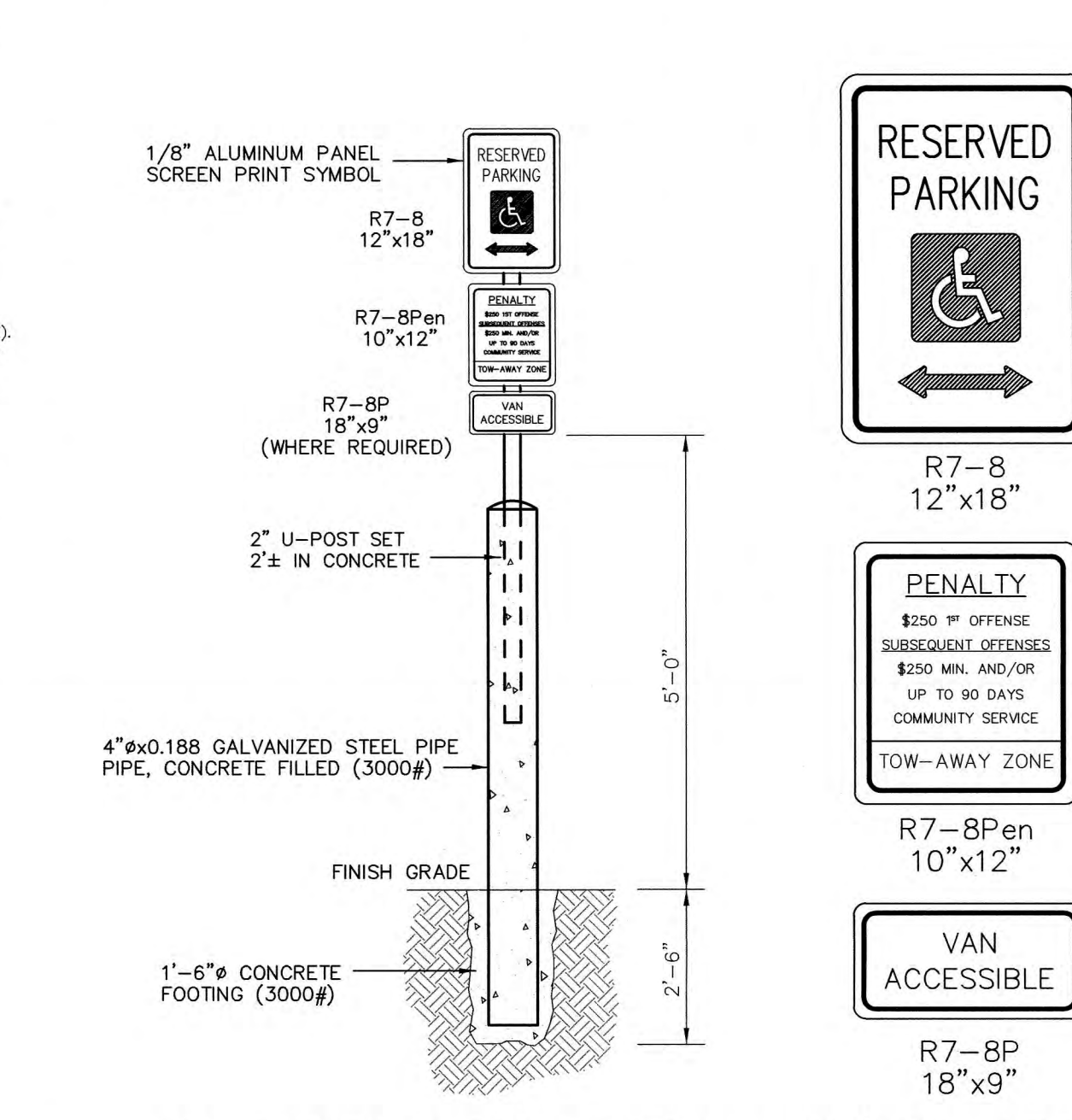
ASPHALT PAVEMENT SECTION FOR STORM TRENCHES RESTORATION



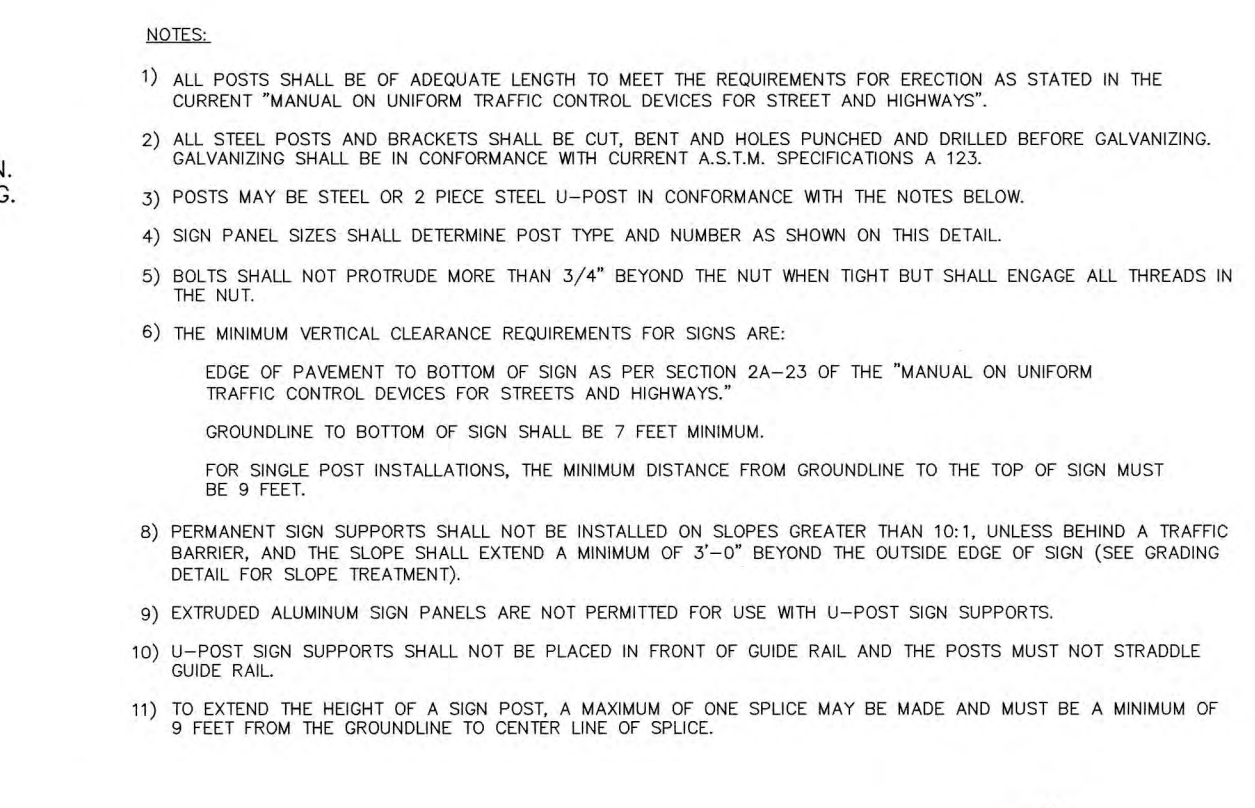
TRENCH DETAIL 'A'



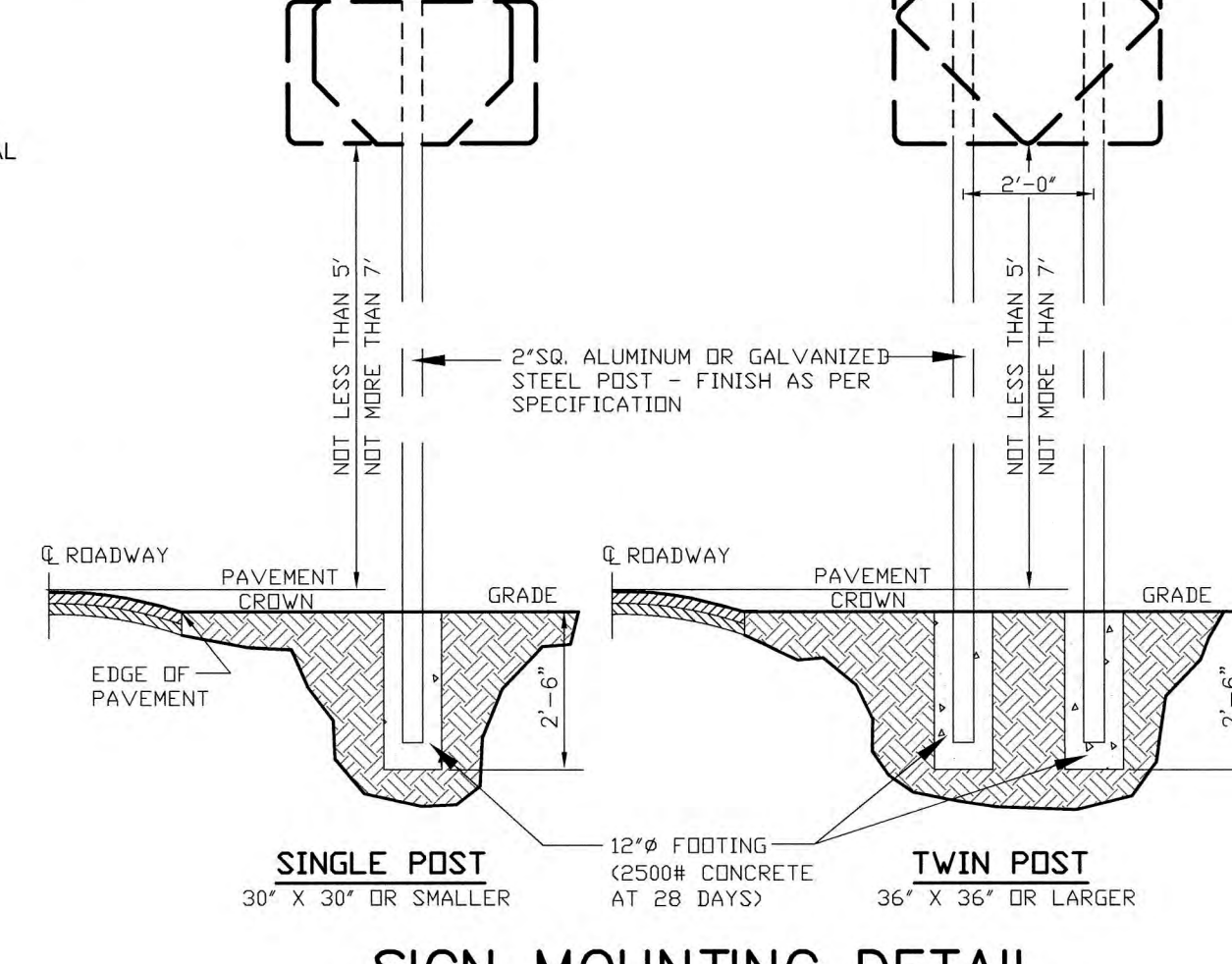
VERTICAL GRANITE BLOCK CURB



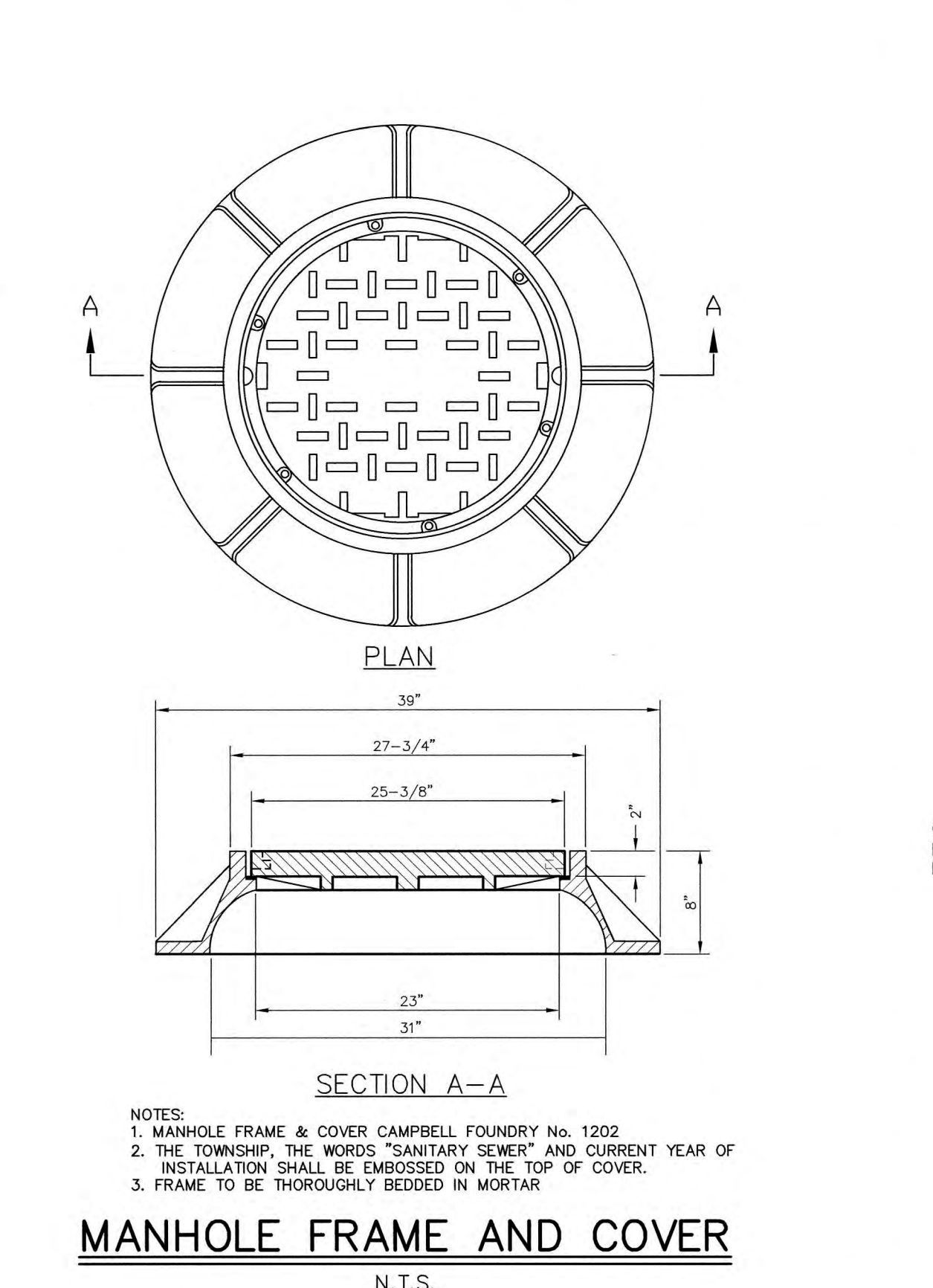
ACCESSIBLE SIGN DETAIL W/BOLLARD



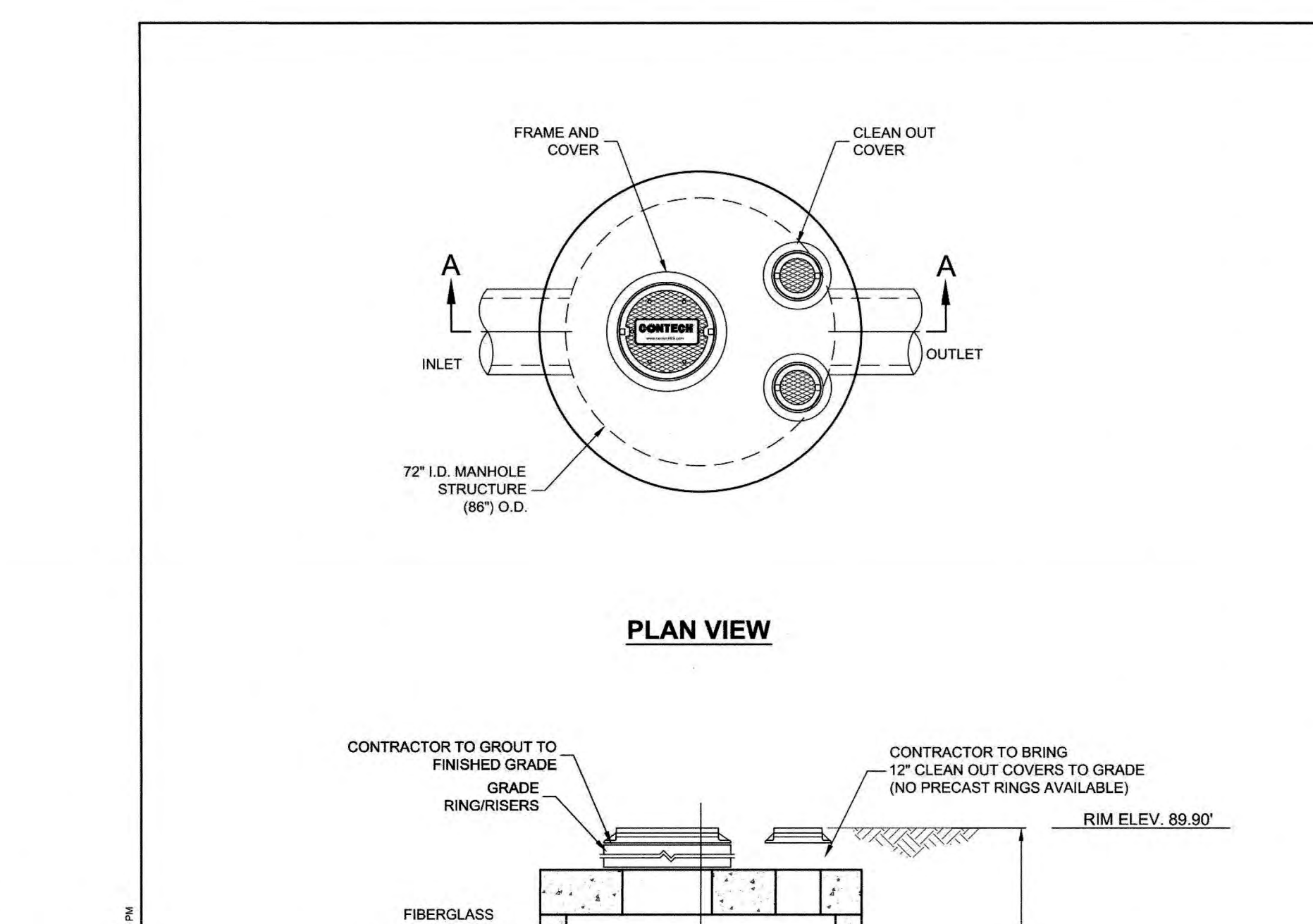
SIGN MOUNTING DETAIL



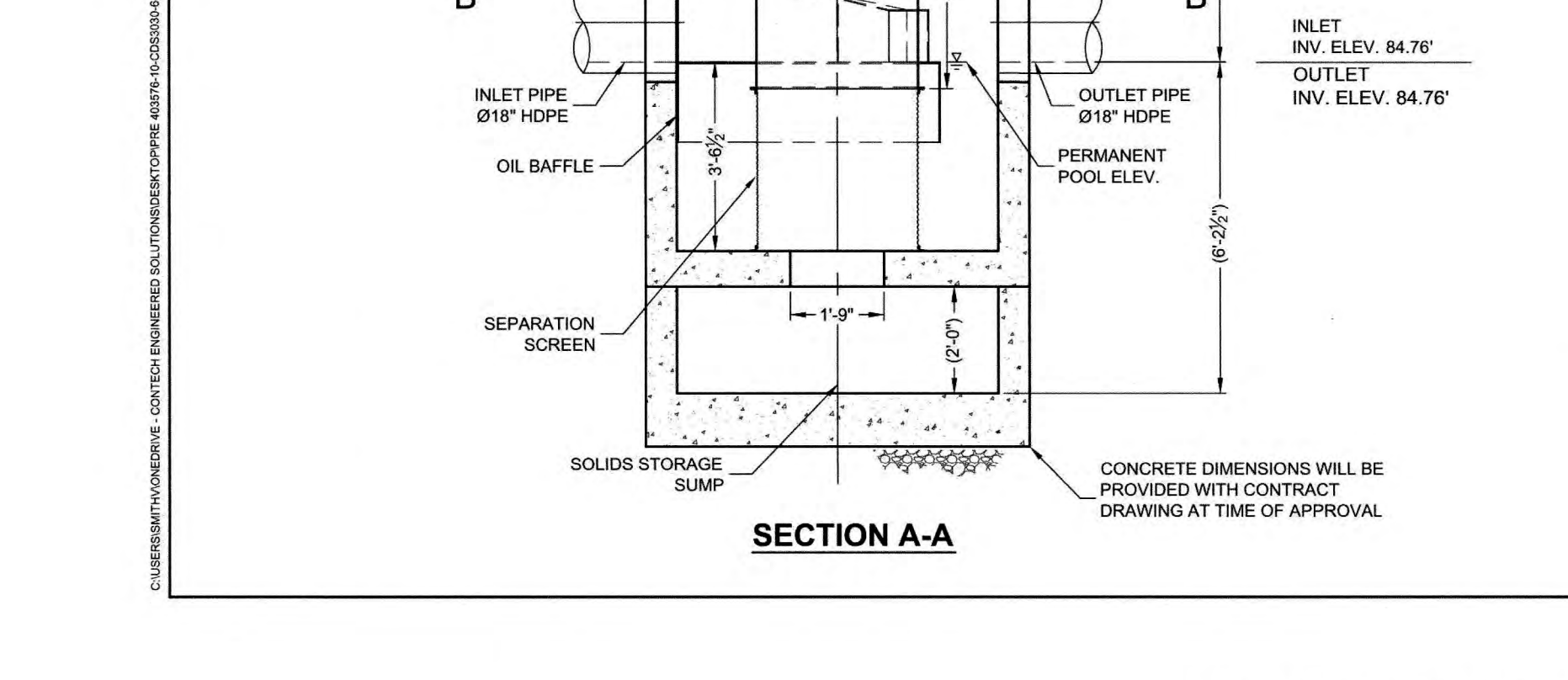
ADA PARKING STALL STRIPING



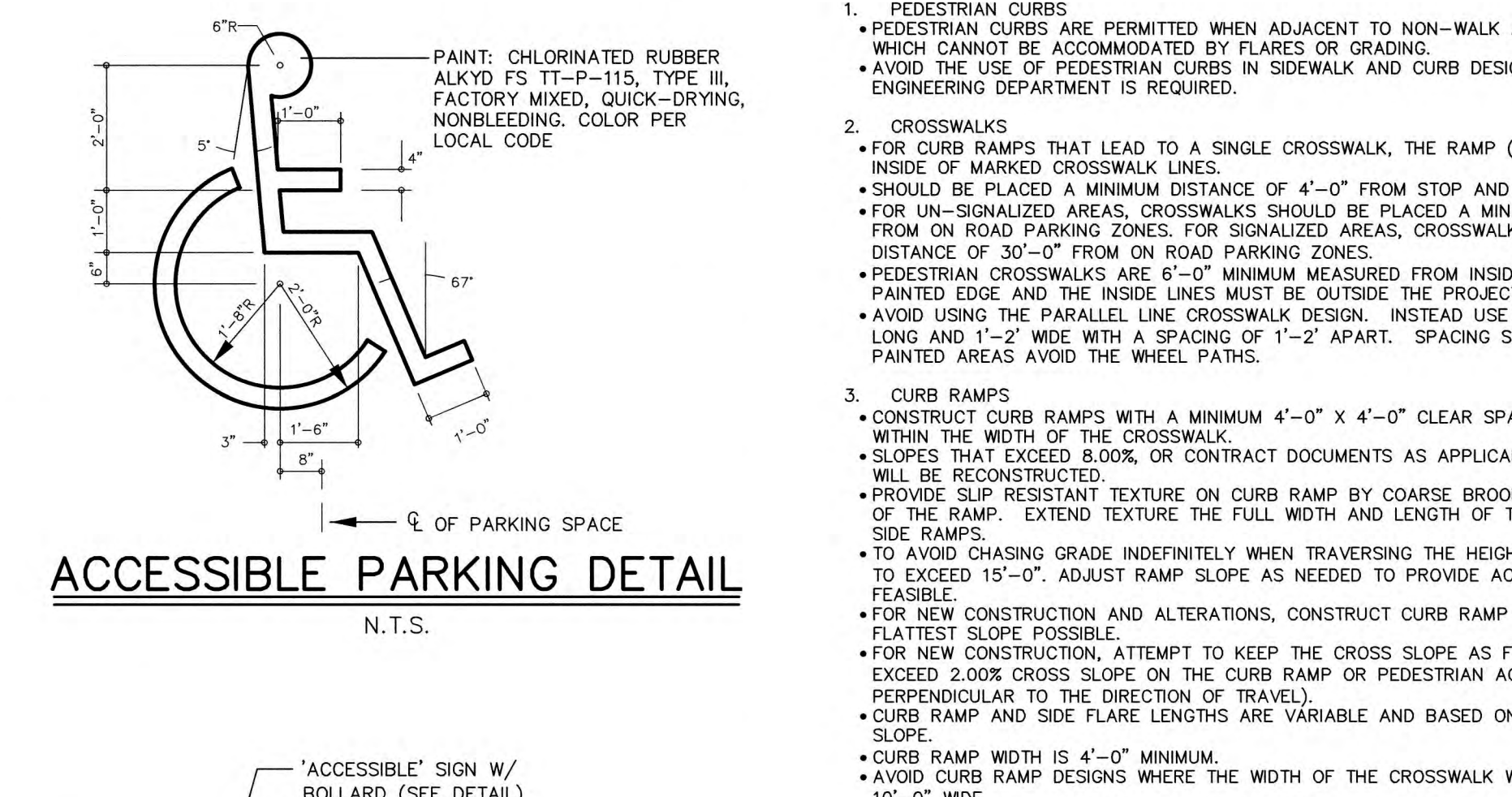
MANHOLE FRAME AND COVER



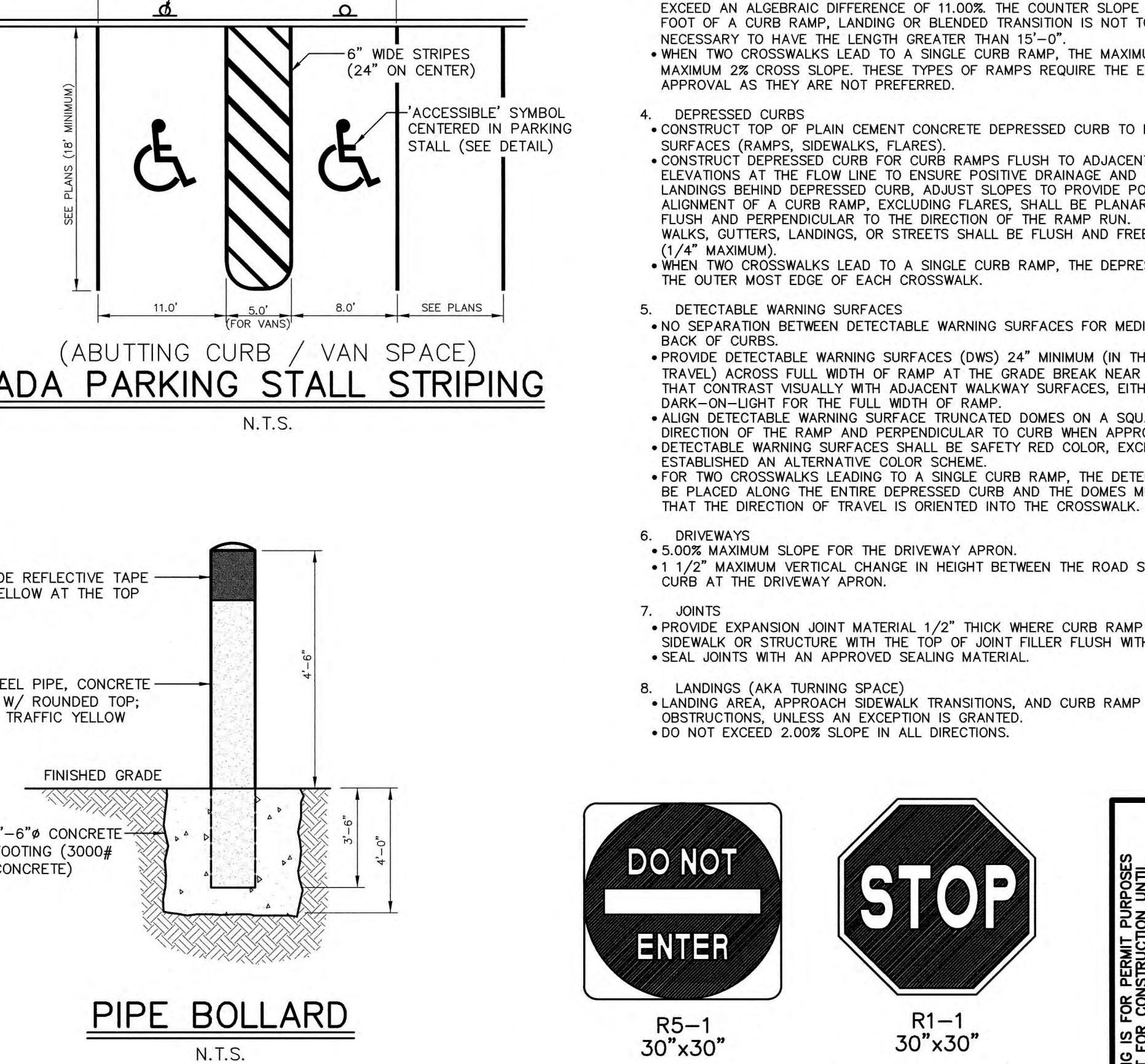
PIPE BOLLARD



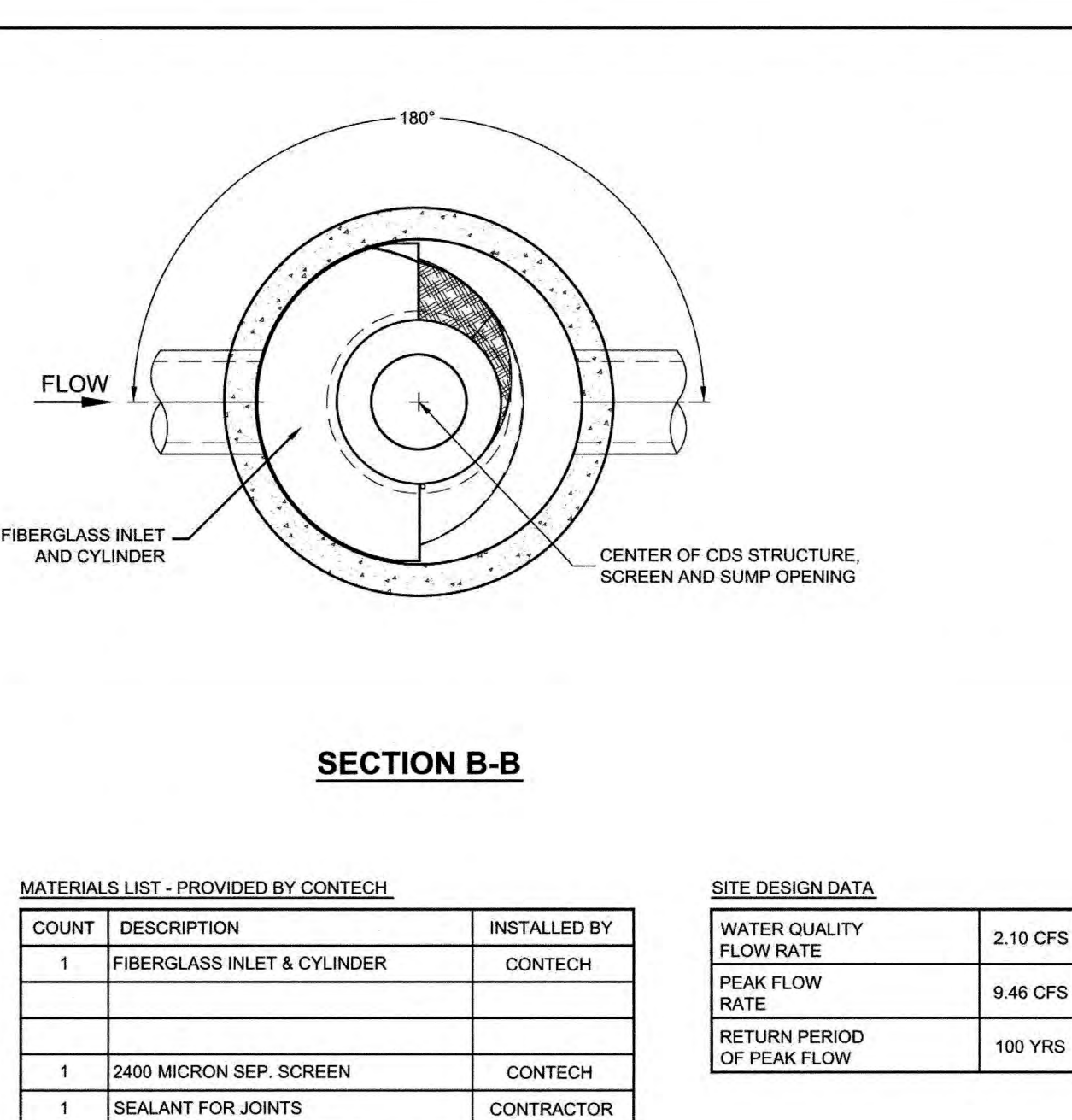
ACCESSIBLE PARKING DETAIL



MANHOLE FRAME AND COVER



SIGN DETAILS



CONTECH PROPOSAL

Table with 3 columns: COUNT, DESCRIPTION, INSTALLED BY. Lists materials like fiberglass inlet and cylinder, sealant, and clean out covers.

GENERAL NOTES: 1) CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE. 2) DIMENSIONS MARKED WITH (I) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.

INSTALLATION NOTES: A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS.

GENERAL ADA NOTES: 1) PEDESTRIAN CURBS ARE PERMITTED WHEN ADJACENT TO NON-WALK AREAS OR ELEVATION DIFFERENCES. 2) CROSSWALKS...

GENERAL ADA NOTES: 3) CURB RAMPS: CONSTRUCT CURB RAMPS WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE.

GENERAL ADA NOTES: 4) SIDE FLARES: ALL SIDES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB.

GENERAL ADA NOTES: 5) SIDEWALKS: THE AREA CONSIDERED TO BE THE "PEDESTRIAN ACCESSIBLE ROUTE" IS THE MAXIMUM SIDEWALK CROSS-SLOPE IS 2.00%.

GENERAL ADA NOTES: 6) DEPRESSIONS: CONSTRUCT CURB RAMPS TO BE FLUSH WITH ADJACENT SIDEWALK SURFACES (RAMPS, SIDEWALKS, FLARES).

GENERAL ADA NOTES: 7) JOINTS: PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJONS ANY RIGID PAVEMENT.

GENERAL ADA NOTES: 8) LANDINGS (AKA TURNING SPACE): LANDINGS ARE APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.

GENERAL ADA NOTES: 9) GRADE BREAKS: GRADE BREAKS AT THE TOP AND BOTTOM OF THE CURB RAMP SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP.

GENERAL ADA NOTES: 10) DRIVEWAYS: 5.00% MAXIMUM SLOPE FOR THE DRIVEWAY APRON. 1 1/2" MAXIMUM VERTICAL CHANGE IN HEIGHT BETWEEN THE ROAD SURFACE AND THE DEPRESSED CURB AT THE DRIVEWAY APRON.

GENERAL ADA NOTES: 11) DETECTABLE WARNING SURFACES: NO SEPARATION BETWEEN DETECTABLE WARNING SURFACES FOR MEDIANS LESS THAN 4'-0" BETWEEN BACK OF CURBS.

GENERAL ADA NOTES: 12) DEPRESSURED CURBS: CONSTRUCT DEPRESSURED CURBS FOR CURB RAMPS FLUSH TO ADJACENT ROADWAY. GRADE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT FLOODING.

GENERAL ADA NOTES: 13) DETECTABLE WARNING SURFACES: DETECTABLE WARNING SURFACES SHALL BE SAFETY RED COLOR, EXCEPT IF THE MUNICIPALITIES HAVE ESTABLISHED AN ALTERNATE COLOR FOR THE DIRECTION OF THE RAMP.

Table with columns for DATE, REVISION, and DESCRIPTION. Shows project history and approvals.

CDSS030-B-C - 403576-20 AMERICANA CENTER EAST WINDSOR, NJ SITE DESIGNATION: B1

CONTECH logo and contact information including phone, fax, and email.

Table with columns for DATE, REVISION, and DESCRIPTION. Shows project history and approvals.

CONTECH logo and contact information including phone, fax, and email.

AMERICANA CENTER EAST WINDSOR, NJ SITE DESIGNATION: B1

CONTECH logo and contact information including phone, fax, and email.

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CONTECH logo and contact information including phone, fax, and email.

AMERICANA CENTER EAST WINDSOR, NJ SITE DESIGNATION: B1



LED SLIM AREA LIGHTS AR SERIES



PRODUCT DESCRIPTION: The LED Slim Area Lights deliver class-leading efficacy in a lightweight design that can be effectively applied to new and retrofit outdoor projects.
FEATURES: CCT selectable between 3000K/4000K/5000K. Replaces up to 1,000W MH equivalent. Universal 120-277V dimming driver standard.
MOUNTING: 7.5" Straight Arm, includes labor saving slot pattern which eliminates need to drill holes on most retrofits.

WARRANTY: 10-year standard warranty with labor allowance\*. Further details available at www.maxlite.com/warranties.

Table with columns: FAMILY, AR, NOMINAL WATTAGE, VOLTAGE, DISTRIBUTION, CCT, FINISH, MOUNTING, OPTIONS. Lists various AR Area Light models and their specifications.

NOTE: \* Arm Mounts fit square poles, for round poles add a round pole adaptor - see Accessories table.
Phone: 1-800-555-5629 | Fax: 973-244-7333 | Web: www.maxlite.com | E-mail: info@maxlite.com

SITE LIGHT FIXTURE DETAIL-1

N.T.S.

DLC PREMIUM LISTINGS

Table with columns: MODEL #, DLC ID #, MODEL #, DLC ID #. Lists various LED Slim Area Light models and their DLC listings.

Table with columns: MODEL #, ORDER CODE, DESCRIPTION, IMAGE. Lists various accessories for the LED Slim Area Lights, such as round pole adapters and motion sensors.

Phone: 1-800-555-5629 | Fax: 973-244-7333 | Web: www.maxlite.com | E-mail: info@maxlite.com

SITE LIGHT FIXTURE DETAIL-2

N.T.S.

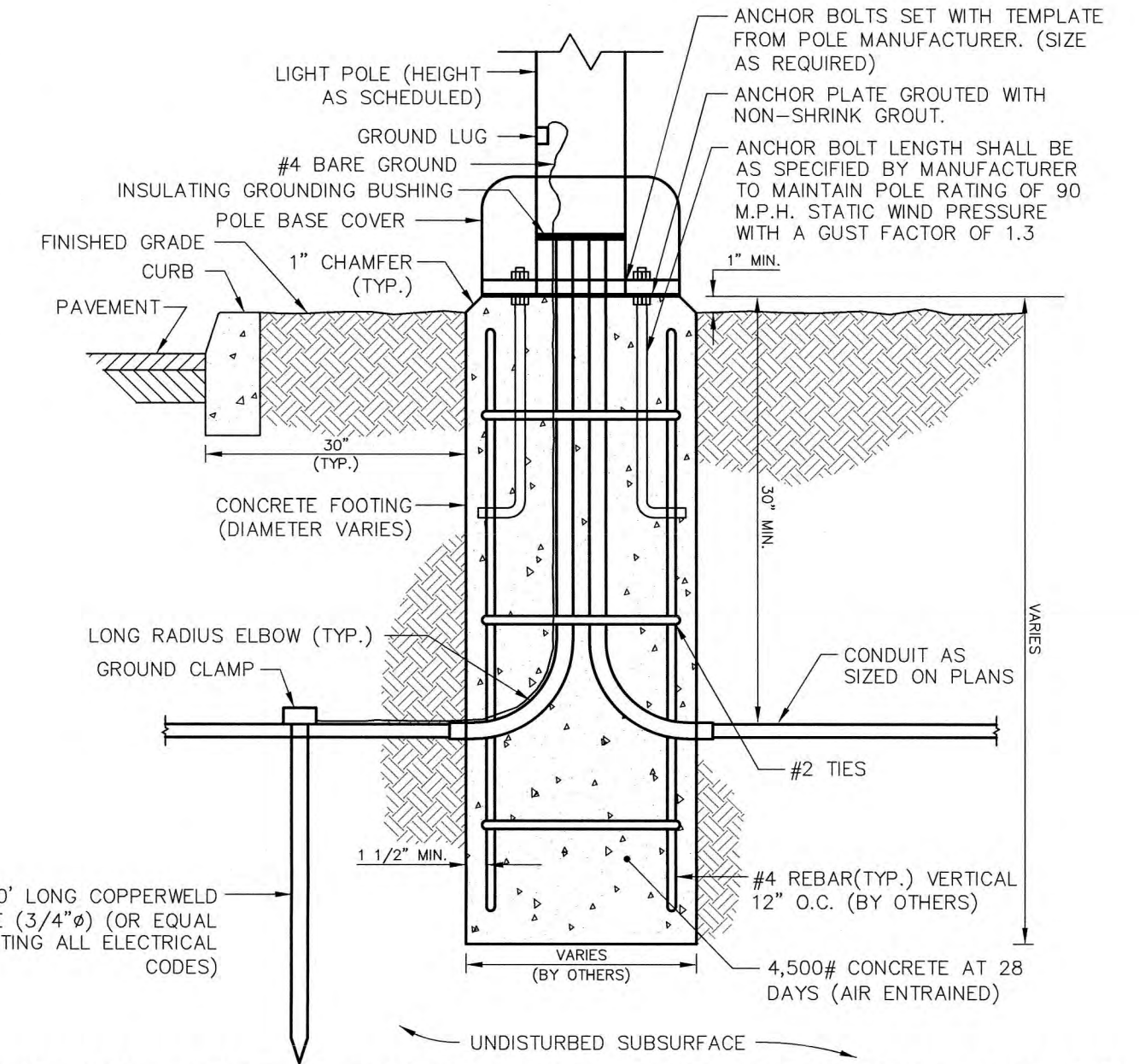
SPECIFICATIONS

Table with columns: SPECIFICATION, AR60, AR75, AR100, AR145, AR200, AR310. Lists detailed technical specifications for the LED Slim Area Lights, including Nominal Wattage, CCT, Lumens, Bug Rating, and Efficacy.

Phone: 1-800-555-5629 | Fax: 973-244-7333 | Web: www.maxlite.com | E-mail: info@maxlite.com

SITE LIGHT FIXTURE DETAIL-3

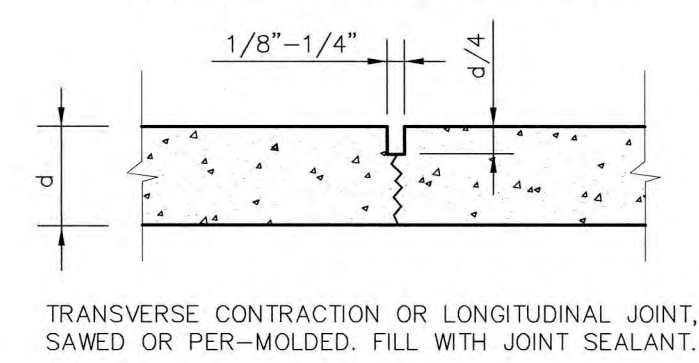
N.T.S.



FLUSH SITE LIGHT POLE FOUNDATION DETAIL (IN GRASSED AREAS)

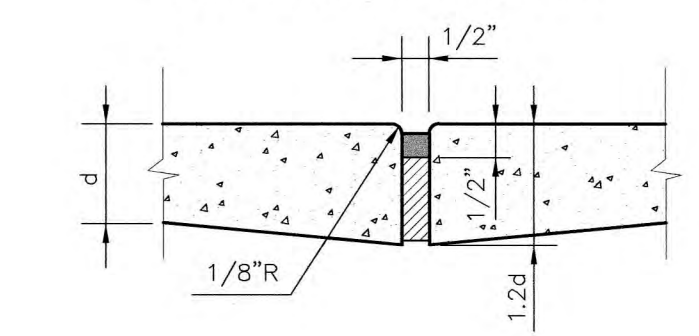
N.T.S.

CONTROL (CONTRACTION) JOINTS



TRANSVERSE CONTRACTION OR LONGITUDINAL JOINT, SAWED OR PER-MOLDED, FILL WITH JOINT SEALANT.

ISOLATION (EXPANSION) JOINTS

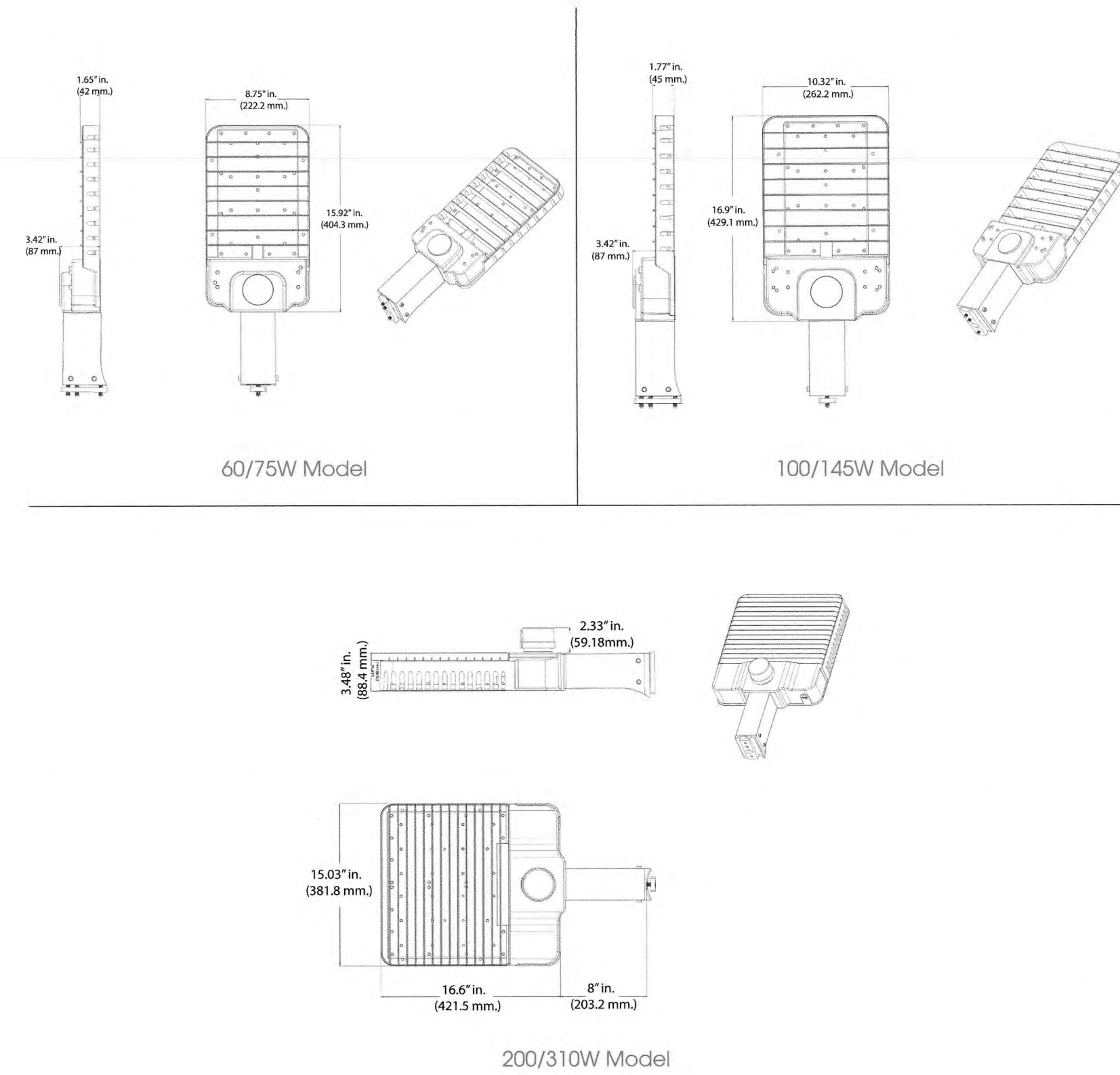


NOTE: CONTRACTION JOINTS TO BE PLACED AT 90 FT O.C. MAX. EXPANSION JOINTS TO BE PLACED AT 15 FT O.C. MAX. EACH WAY.

CONCRETE PAVEMENT DETAIL

N.T.S.

DIMENSIONS:



Phone: 1-800-555-5629 | Fax: 973-244-7333 | Web: www.maxlite.com | E-mail: info@maxlite.com

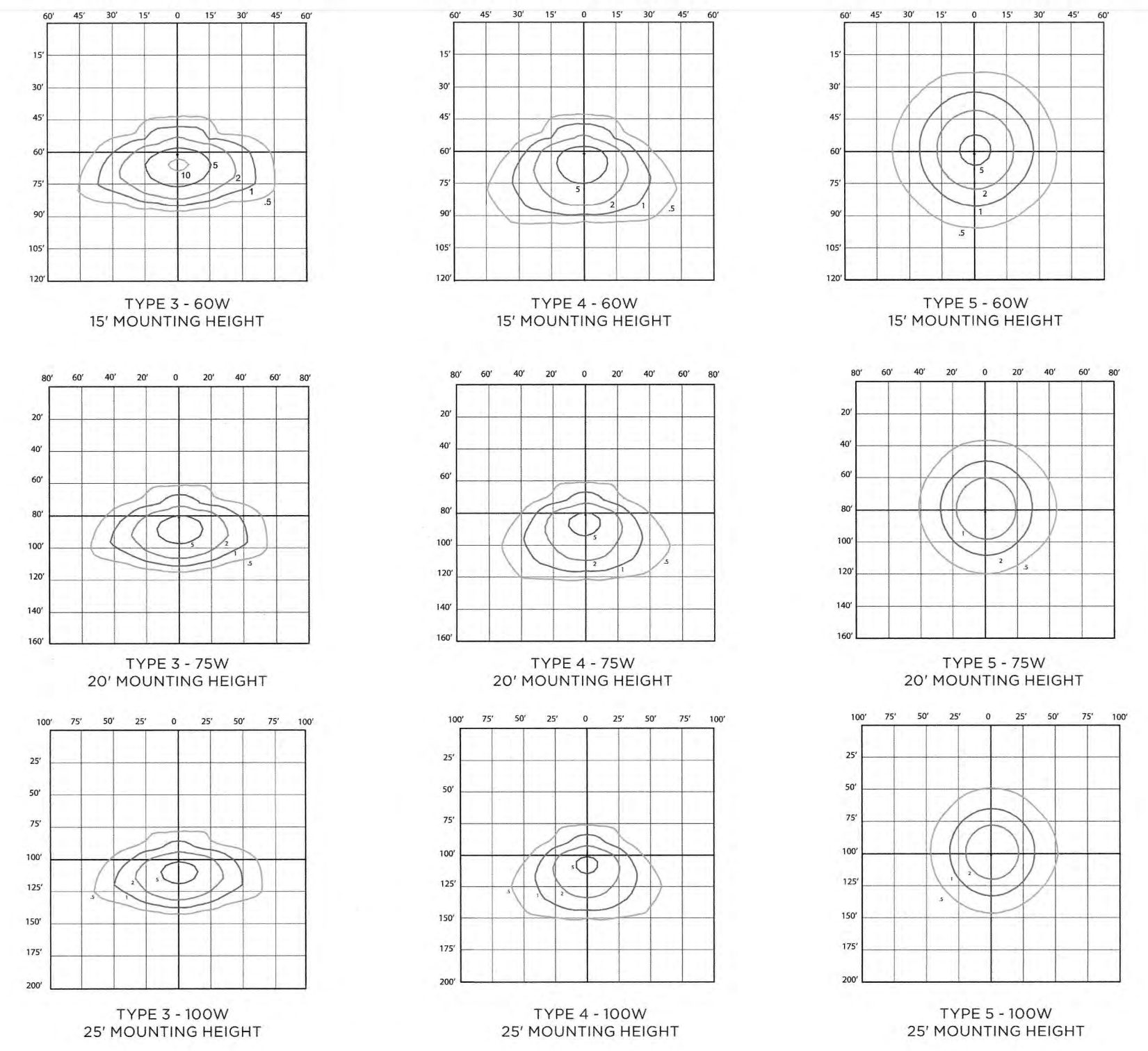
SITE LIGHT FIXTURE DETAIL-4

N.T.S.

ISOFOOTCANDLE

Each gridline represents one mounting height. For mounting heights other than noted multiply FC by the below factor.

- LEGEND: 0.5 fc, 1 fc, 2 fc, 5 fc, 10 fc

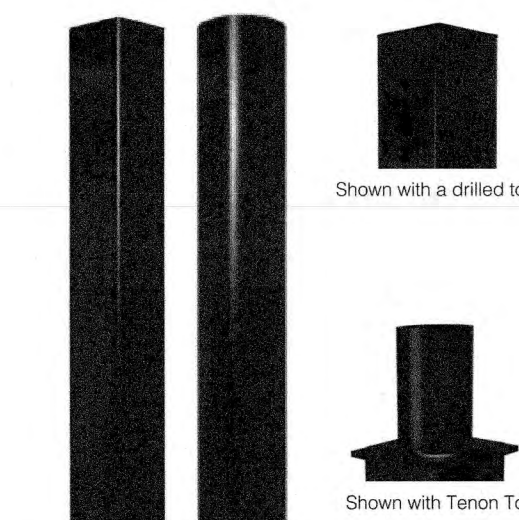


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SITE LIGHT FIXTURE DETAIL-5

N.T.S.

ALUMINUM POLES SQUARE & ROUND STRAIGHT



PRODUCT DESCRIPTION: Aluminum poles available for use with our full line of LED outdoor luminaires.
CONSTRUCTION: Powder coat finish. Pole is shipped standard with pole cap (drill mount only), base cover, anchor bolts and template, hand hole cover, grounding provision/bolt and back bar.
WARRANTY: 3-year standard warranty.

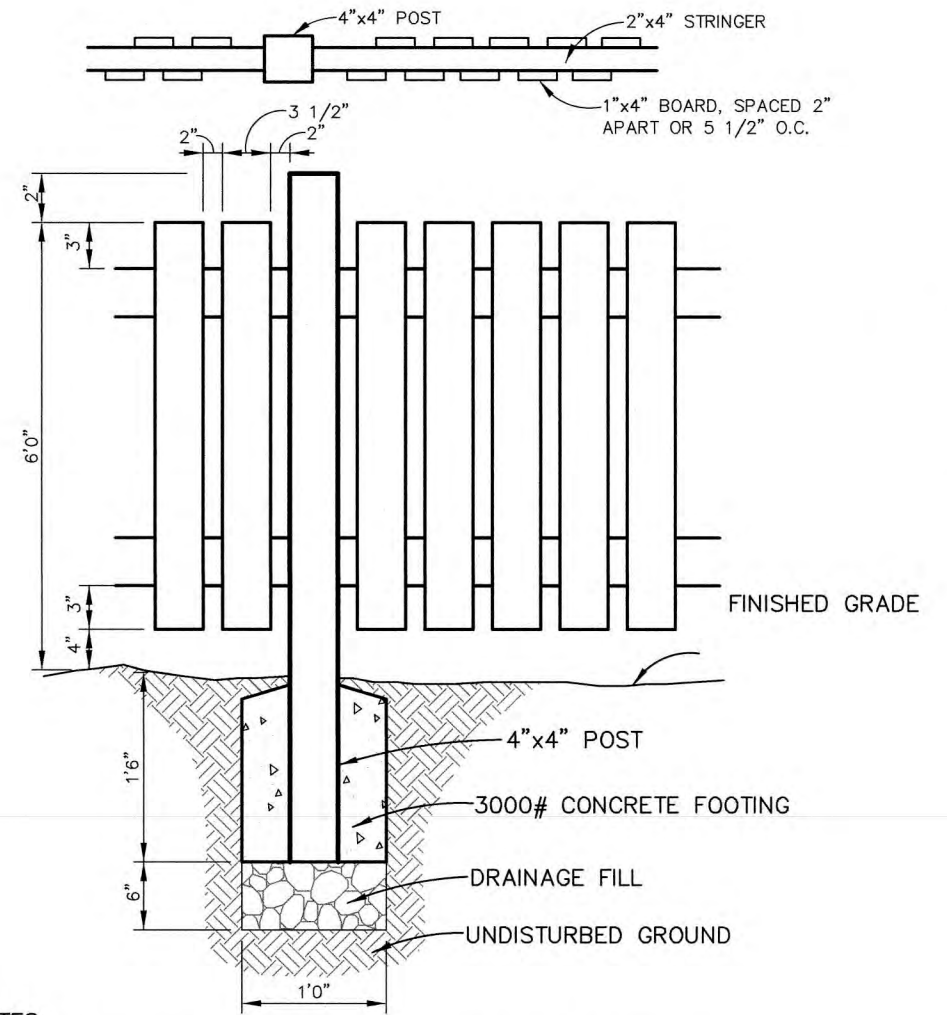
Table with columns: PRODUCT FAMILY, SHAFT SIZE, HEIGHT, PATTERN, WALL THICKNESS, FINISH. Lists specifications for square and round aluminum poles.

Table with columns: CATALOG NUMBER, MOUNTING HEIGHT (FT), SHAFT SIZE (IN), WALL THICKNESS, BOLT CIRCLE, EFFECTIVE PROJECT AREA RATING W/ 3 GUST FACTOR (SQ. FT.). Lists specifications for square straight aluminum poles.

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SITE LIGHT POLE DETAIL-1

N.T.S.



NOTE: 1. ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED. 2. BASES OF VERTICAL BOARDS TO ALIGN. 3. FENCE TO BE PAINTED OR STAINED AS PER SPECIFICATIONS.

BOARD ON BOARD FENCE DETAIL

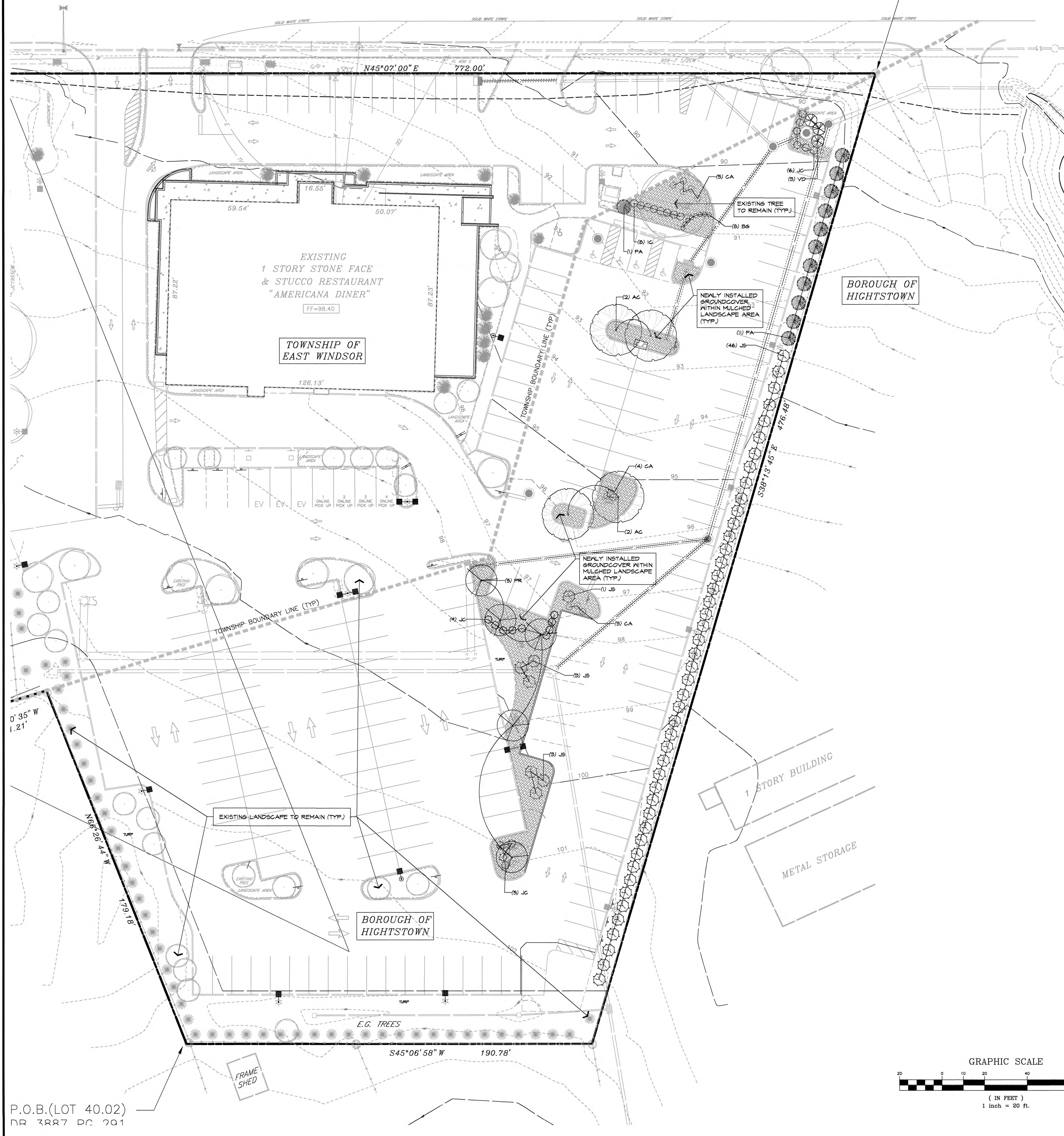
N.T.S.

Professional seal and project information for Menlo Engineering Associates, Inc. Includes project details for Americana Center construction details.



NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130  
(120' WIDE R.O.W.)

DB 3315 PG 206

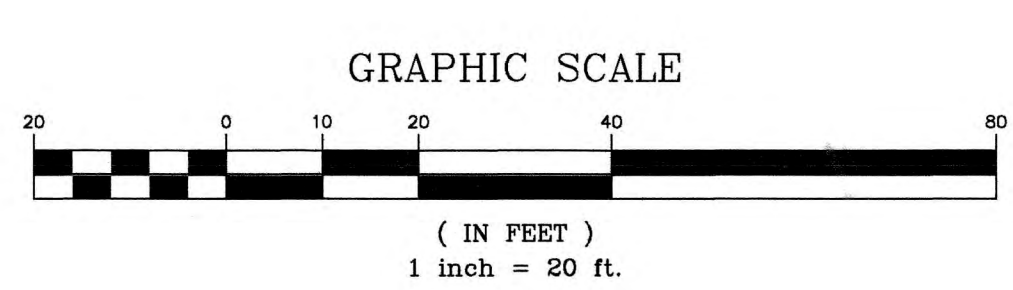
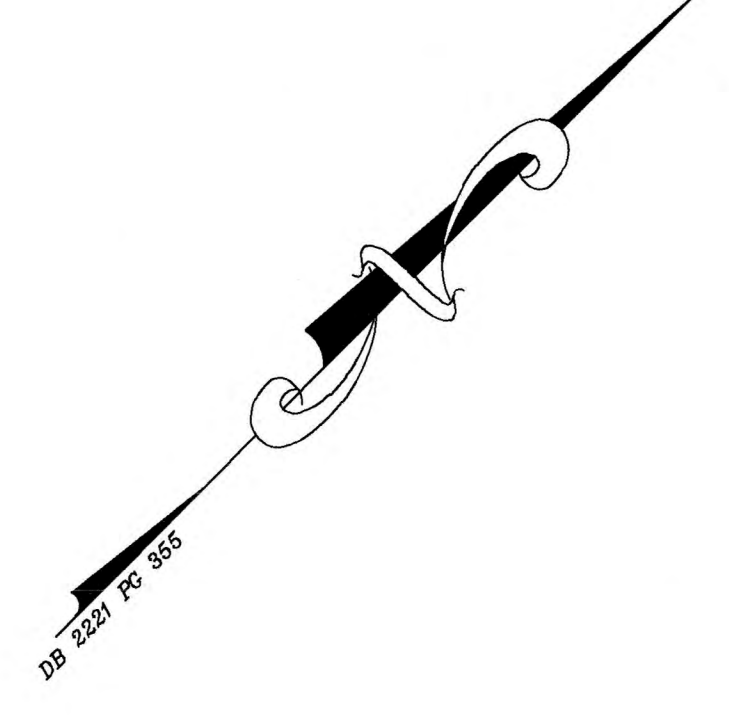


**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	COMMON NAME
AC	1	MAPLE
EVERGREEN TREES	QTY	COMMON NAME
JD	50	JUNIFER
FA	12	SPRUCE
FLOWERING TREES	QTY	COMMON NAME
FR	3	CHERRY
SHRUBS	QTY	COMMON NAME
B6	8	BOXWOOD
CA	15	SUMMERSWEET
IC	2	SHRUB HOLLY
JC	20	SHRUB JUNIFER
VD	3	VIBURNUM

**GENERAL LANDSCAPING NOTES:**

- NO SUBSTITUTIONS IN PLANT LIST TO BE MADE UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT AND APPROVED BY OWNER AND TOWNSHIP.
- ALL DISTURBED AND PERMANENT TURF AREAS SHALL BE SEEDED WITH A GENERAL PURPOSE MIXTURE SIMILAR TO THE FOLLOWING: SCS SEED MIX #14 (TALL TURF FESCUE, KENTUCKY BLUEGRASS, PERENNIAL RYEGRASS) OR APPROVED EQUAL. SEE SCS DETAIL SHEETS FOR SEEDING SPECIFICATIONS.
- ALL PLANTING BEDS TO BE MULCHED WITH (3) INCH MINIMUM MULCH (SEE PLANTING NOTE #20). MULCH VOLCANOES (MOUNDS) AROUND TREES ARE PROHIBITED.
- TOPSOIL PROTECTION: NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL. ALL TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGRADED SURFACES SO AS TO PROVIDE AN EVEN COVER AND SHALL BE STABILIZED BY SEEDING OR PLANTING. ALL REGRADED TURF AREAS SHALL BE COVERED BY A SIX (6) INCH MINIMUM THICKNESS OF TOPSOIL. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE, MEETINGS OR EXCEEDING THE MINIMUM REQUIREMENTS OF THE NJDOT SPECIFICATIONS, SHALL BE PROVIDED TO RESULT IN A SIX (6) INCH MINIMUM THICKNESS. ANY IMPORTED TOPSOIL OR SUBSOIL SHALL BE NJDEP CERTIFIED FREE OF ANY TOXINS OR HARMFUL CHEMICALS.
- LAWN AREAS SHALL MAINTAIN A MINIMUM SLOPE OF 2% AND A MAXIMUM OF (3) FEET HORIZONTAL TO (1) FOOT VERTICAL AND BE TILLED TO A DEPTH OF EIGHTEEN (18) INCHES.
- UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUNSCALDS, WINDBURN, DISTINGUISHING KNOTS OR FRESH CUTS OF LIMBS OVER 3/4 IN. WHICH HAVE NOT COMPLETELY CALLEDUS WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED.
- SHRUB PLANTING ISLANDS, PARKING AREA ISLANDS AND FOUNDATION PLANTING BEDS SHALL RECEIVE A MINIMUM OF (2) FEET OF TOPSOIL MIXTURE MEETING OR EXCEEDING THE MINIMUM NJDOT SPECIFICATIONS.
- ALL PLANT MATERIALS LOCATED WITHIN SITE TRIANGLES SHALL BE MAINTAINED NOT TO EXCEED A MAXIMUM OF (36) INCHES ABOVE PAVEMENT AND TREES SHALL BE LIMBED TO MAINTAIN A MINIMUM CLEARANCE OF (7) FEET ABOVE THE TOP OF CURB OR SIDEWALK FOR SIGHT VISIBILITY.
- THE CONTRACT DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. (1-800-272-1000). ANY CONFLICTS WITH PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND THE LANDSCAPE ARCHITECT. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER SHALL BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANIES STANDARDS. ALL EXISTING UTILITIES EXPOSED DURING CONSTRUCTION SHALL BE SUPPORTED UNTIL BACKFILL IS IN PLACE.
- IRRIGATION SHALL BE PROVIDED FOR PLANT MATERIAL IF INDICATED ON THE PLAN OR AT THE OWNER'S DIRECTION. DESIGN TO BE PROVIDED BY IRRIGATION PROFESSIONAL.
- FINAL LOCATIONS OF BUFFER PLANTINGS (IF REQUIRED) LOCATED WITHIN EXISTING TREE CANOPY AREAS SHALL BE PLACED BASED ON EXISTING TREE LOCATIONS IDENTIFIED IN THE FIELD. EVERGREENS SHALL BE PLACED WHERE SAPS APPEAR IN THE TREE CANOPY. FINAL LOCATIONS TO BE APPROVED BY TOWNSHIP ENGINEER OR TOWNSHIP LANDSCAPE ARCHITECT.
- SEE DETAIL SHEETS FOR ADDITIONAL PLANTING NOTES AND DETAILS.
- ALL SHADE TREES, EVERGREENS, AND FLOWERING TREES SHALL BE PROVIDED WITH "GATOR BAGS" 1/1 OR EQUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO ALL PLANTINGS AND LAWN AREAS UNTIL FINAL ACCEPTANCE.
- PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL, SEEDING OR SODDING OF LAWN AREAS, THE CONTRACTOR SHALL OBTAIN PHYSICAL, CHEMICAL AND SOIL FERTILITY TESTING AT AN APPROVED LAB TO DETERMINE SOIL COMPOSITION AND SUITABILITY. THE TESTING SHALL BE A RATE OF EITHER ONE TEST PER 500 CUBIC YARDS OF PLANTING MIX OR ONE TEST PER 15,000 SF OF LANDSCAPE SURFACE AREA. THE SOILS SHALL BE AMENDED IN ACCORDANCE WITH THE TEST RESULTS FOR OPTIMAL PLANT AND LAWN GROWTH. THE RESULTS OF ALL TESTING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW.



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS APPROVED BY THE ENGINEER AND THE LANDSCAPE ARCHITECT. DATE: 04/29/2022

DESIGNED BY: KENNETH R. GRISEWOOD  
LANDSCAPE ARCHITECT  
NJ LICENSE #AS000071

**MENLO ENGINEERING ASSOCIATES, INC.**  
CIVIL ENGINEERS, LAND SURVEYORS AND PROFESSIONAL PLANNERS  
261 CLEVELAND AVENUE HIGHLAND PARK, NEW JERSEY 08904  
PHONE: (732) 846-9585 FAX: (732) 846-9439  
CERTIFICATE OF AUTHORIZATION: 246A27951900

**AMERICANA CENTER**  
TOWNSHIP OF EAST WINDSOR, MERCER COUNTY, NEW JERSEY  
BOROUGH OF HIGHTSTOWN, MERCER COUNTY, NEW JERSEY

**LANDSCAPE PLAN**  
BLOCK 57-LOTS 9, 10, 11 BLOCK 7-LOTS 40.02 & 41; DEVELOPMENT AREA: 281,356 SF (6.46 AC)

DATE OF ISSUE: APRIL 29, 2022  
SCALE: 1"=20'  
JOB #: 2005.109.02  
DWG #: 10-1  
SHEET #: 11

DRWN. BY: LH  
DSGN. BY: LH  
CHKD. BY: KR  
APPRD. BY: KR

P.O.B. (LOT 40.02)  
DR 3887 DC 201